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CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: 317 NORTH PLANK ROAD SITE PLAN
PROJECT NO.: 18-23
PROJECT LOCATION: SECTION 35, BLOCK 3, LOT 6 & 7
REVIEW DATE: 12 JULY 2019
MEETING DATE: 18 JULY 2019
PROJECT REPRESENTATIVE: HUDSON LAND DESIGN

1. The applicants have received variances from the Town of Newburgh for front yard and side yard setback.
2. The Applicants have requested to continue to utilize the existing well to serve the office building. Project is located in the water district. Any waiver for this requirement should be sought through Jim Osborne, the Town Engineers office. County Health Department regulations require a new connection to potable water supply when it is available.
3. NYSDOT comments must be received. Circulation for Notice of Intent for Lead Agency should be undertaken as NYSDOT is an involved agency.
4. County Planning referral is required.
5. Notes pertaining to the requirement to submit an As-Built plan and Certification for the subsurface sanitary sewer disposal system must be added to the plans. Subsurface sewage disposal Note #3 identifies a pump chamber while one is not identified on the plans.
6. Show separation between well and septic system if well is allowed to remain.
7. NYSDOT access drive details do not depict curbing. Curbing is proposed along two sides of the parking lot.
8. Credit for parking spaces in front of existing garage appears to be taken, access to the garage should be identified on the plans.
9. Parking Note #3 should be evaluated as it appears that nine (9) parking spaces, including one

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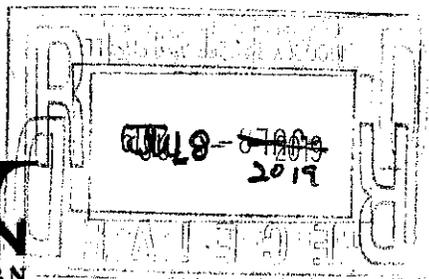
accessible space are proposed in the new parking lot.

10. Landscaping plan identifies the placement of eight(8) Arborvitae along the frontage and nine American Holly. Planning Board should evaluate the use of the Arborvitae along the roadway frontage.
11. The Applicants are proposing a pea gravel diaphragm to provide for run-off treatment from the nine (9) space parking lot proposed.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal
PJH/kbw



Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508 (Main Office & Mailing Address)
13 Chambers Street, Newburgh, New York 12550 (Satellite Office)
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www.HudsonLandDesign.com

June 27, 2019

Mr. John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: Site Plan Application
317 North Plank Road
Tax Parcels 35-3-7; 35-3-6
Town of Newburgh, New York
Newburgh Planning Board Job #: 2018-023

Dear Chairman Ewasutyn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the Site Plan in response to McGoey, Hauser and Edsall's December 14, 2018 comment letter, Creighton Manning's December 14, 2018 comment letter and Karen Arent Landscape Architect's December 18, 2018 comment letter. Below is a point-by-point response to the comments received.

MH&E's December 14, 2018 Comment Letter:

1. It is our contention that the private well located on-site is sufficient for use as water service for this project. Water flows for this project are only 96 gallons per day, connection to the Town of Newburgh's Municipal System will require directional boring beneath North Plank Road, a NYSDOT owned roadway, and will create a hardship for the applicant for little benefit; therefore, we respectfully request a waiver from this requirement.
2. The Zoning Board of Appeals (ZBA) granted a variance for the existing structure with non-conforming front and side yard setbacks at their March 28, 2019 meeting. The ZBA resolution is included within this submission.
3. Comment satisfied above.

4. On-going conversations and an on-site meeting with Siby Zachariah of the NYSDOT occurred on June 12, 2019 and the proposed minor commercial entrance has been slightly revised based upon comments during the site meeting. Ms. Zachariah requested no curbing along the entrance radii; however, did request removal of the remaining asphalt pavement outside the NYSDOT ROW in front of the building, and be planted with grass. If landscaping is proposed, it shall be low-growing plants that won't impede sight distance. The plan has been revised to show that the pavement is to be removed. This action increases the site disturbance to 12,720 sqft which exceeds the threshold within the Town code Section 157-4(B) where a stormwater management plan is required for developments that disturb greater than 10,000 sqft. Removal of the existing asphalt will reduce the total amount of site impervious surface from 7,404 sqft (pre-conditions) to 6,918 sqft after development. Since the additional disturbance that exceeds 10,000 sqft is for removal of impervious surface, it is our professional opinion that the runoff generated from the site will be reduced by removal of this pavement; therefore, we are seeking a waiver from preparation of the stormwater management plan.
5. The SDS area has been revised and is no proposed as a shallow absorption trench system. The system will require 1-2 feet of imported fill to be placed in the absorption field to provide adequate separation distance to groundwater.
6. The detail on Sheet 3 was revised to include a 1,000-gallon septic tank, while the 1,500-gallon septic tank detail was removed.
7. This existing garage will not be utilized for parking vehicles as required by the NYSDOT. The asphalt in front of and around garage will be removed and a low growing grass will be applied. No parking will occur in front of garage.
8. A NYSDOT Minor Commercial Detail has been added to Sheet 4 of the plan set.
9. Parking Striping Detail – To be provided from Town Engineer per conversation at Planning Board meeting; however, the parking detail has been revised to reflect the Town's double stripe between parking spaces.
10. A Zoning Bulk Compliance table is located on Sheet 2 of the plan set.
11. Per conversations with the NYSDOT, curbing at entrance shall not be proposed. The applicant is requesting a waiver from the Planning Board for no curbing around the end of the parking area to allow free sheet flow into the pea gravel diaphragm. The limits of the proposed concrete curbing are labeled on Sheet 2 of the plan set.

Creighton Manning's December 14, 2018 Comment Letter:

1. Comment Noted.
2. Parking has been removed from front of garage area and two spaces added to main parking area to the east of existing structure.
3. The 9 parking spaces is consistent with the use of the office building. Three employees will be at the office at any given time, while tradesman and laborers commute to project site and will not park at proposed office.

4. Asphalt will be removed and replaced with a low growing grass for stabilization. Limits of removal are shown on site plan. The NYSDOT Minor Commercial Entrance is designed in accordance with NYSDOT Standard Sheet 608-03
5. Please refer to response #2.
6. Please refer to response #2.
7. Garbage generation will not be significant on-site; therefore, pickup will be curbside.

Karen Arent landscape Architect's December 18, 2018 Comment Letter:

1. The parking lot was shifted 5 feet to the east to allow the planting of six (6) American Holly to soften the view of the ADA compliant ramp. Three (3) additional American Hollies are proposed in between the front walk and the existing planting bed adjacent to the front stairs.
2. The ADA compliant ramp will abut to the building. The parking area has been shifted to the east to allow for a 5' wide landscaped area. In addition, a 4' wide walking sidewalk has been linked to the front stepped entrance of the building as currently configured.
3. Asphalt will be removed and replaced with a low growing grass for stabilization. Limits of removal are shown on site plan. The NYSDOT has indicated that they will not permit curbing along the entrance due to drainage concerns.
4. Although it is not expected that there will be a need for exterior storage of materials or equipment on site, Arborvitae screening is proposed along the front of the parking area. It is proposed to retain the existing vegetation and mature trees along the frontage where the parking area does not impact such vegetation.
5. Overhead wires exist between the subject parcel and North Plank Road. It is proposed to keep the existing mature trees and vegetation where not in conflict with the proposed parking area. Mature trees are setback from ingress and egress points in excess of 15 feet. Sight lines are currently in conformance and will not be impacted in the future. To supplement the existing vegetation that will be removed, eight (8) Arborvitae are proposed along the frontage of the proposed parking area.
6. While we respect your professional opinion, no stone amenities will be provided as requested by the applicant. The renovation of the existing structure will increase the aesthetics of the existing structure and surrounding areas in comparison to the existing conditions.
7. All disturbed areas will be reseeded and permanently stabilized with grass unless they are planting beds where wood chip mulch is proposed. Cover types are called out on Sheet 2.

The following items are attached for our second submission:

- Fifteen (15) copies of the Site Plan set.
- Fifteen (15) copies of the Zoning Board of Appeals Decision.

Please place this item on your next available planning board agenda. Should you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "Adam Gasparre". The signature is written in a cursive style with a long horizontal line extending from the end of the name.

Adam Gasparre
Staff Engineer



LEGEND

- — — — — EXISTING PROPERTY LINE
- - - - - EXISTING ADJOINER LINE
- — — — — 2.50' EXISTING MAJOR CONTOUR
- — — — — 2.12' EXISTING MINOR CONTOUR
- - - - - D.H.W. EXISTING OVERHEAD WIRE
- x - x - x EXISTING FENCE
- ⊙ EXISTING UTILITY POLE

PROJECT INFORMATION:

PARCEL OWNERS:	SHAWN JACKSON PO BOX 321, MARLBORO, NY 10542
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	317 N PLANK ROAD, NEWBURGH NY, 12550
TAX PARCEL ID:	35-3-6 & 35-3-7
PARCEL AREA:	±0.89 ACRES TOTAL
WATER SUPPLY:	35-3-6: PRIVATE WELL; 35-3-7: NONE
SEWAGE DISPOSAL:	35-3-6: PRIVATE SDS; 35-3-7: NONE

MAP REFERENCES:

1. EXISTING FEATURES AS SHOWN ON THIS PLAN PROVIDED BY MAPPING OBTAINED FROM TEC LAND SURVEYORS, P.S, LLC. ENTITLED "BOUNDARY SURVEY PREPARED FOR 317 NORTH PLANK ROAD", DATED OCTOBER 23, 2017.

EXISTING SDS COMPONENTS ABANDONMENT NOTES:

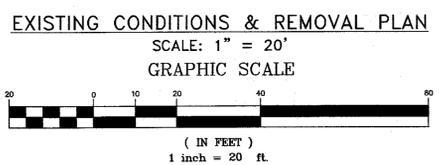
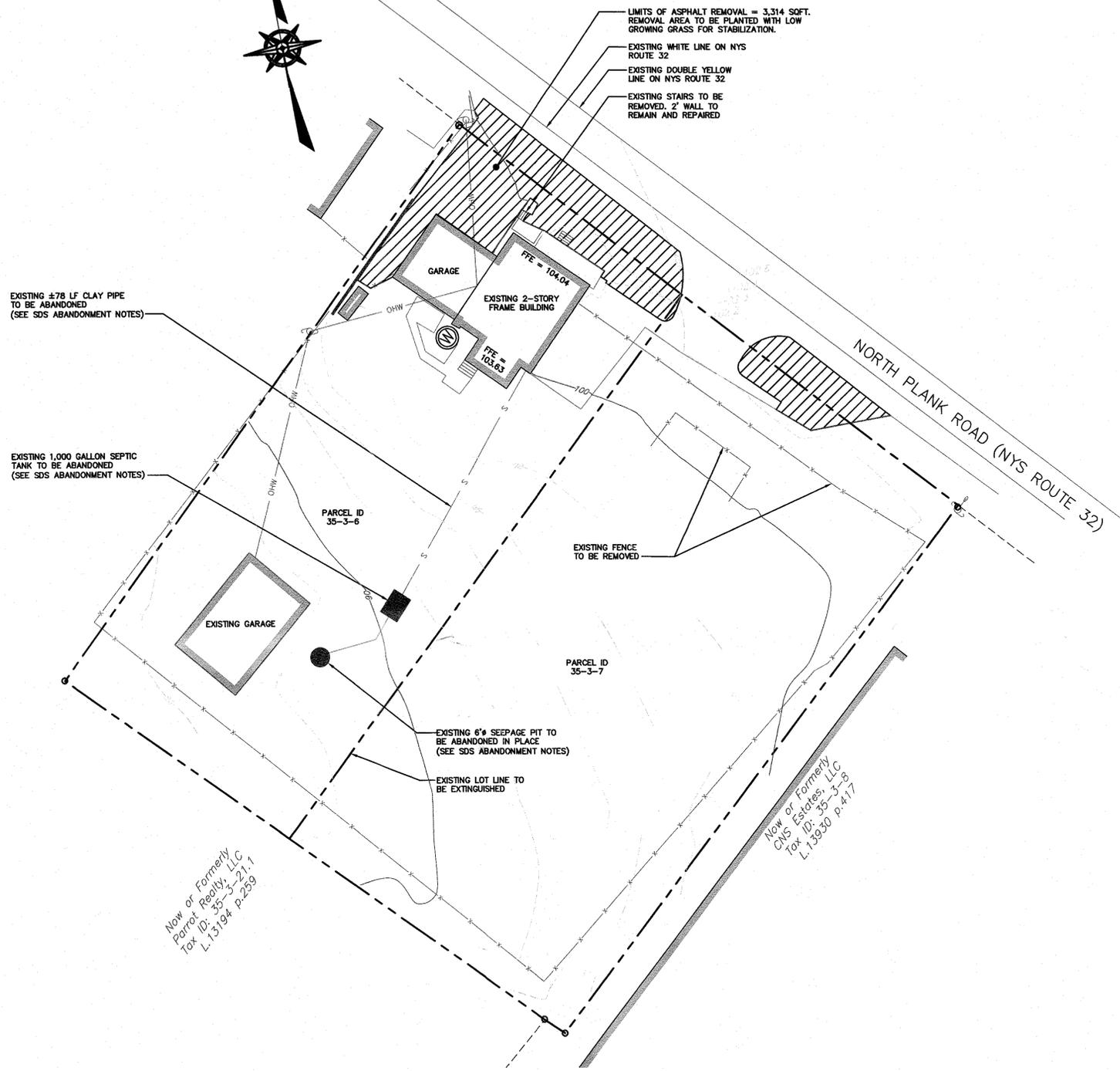
1. THE EXISTING SEPTIC TANK AND DISTRIBUTION BOX SHALL BE PUMPED OUT PRIOR TO ABANDONMENT. SEWAGE IS HAZARDOUS WASTE. THE HAZARDOUS MATERIAL PUMPED FROM THE TANK AND DISTRIBUTION BOX SHALL BE TRANSPORTED OFFSITE TO A BY A NYSDC LICENSED HAULER AND DISPOSED OF AT A SEWAGE TREATMENT PLANT. THE EXISTING TANK, CLAY PIPES, AND SEEPAGE PIT SHALL BE FILLED WITH GRAVEL AND ABANDONED IN PLACE.



SITE MAP SCALE: 1" = 500'

ADJOINING OWNERS:

PARCEL:	OWNER & ADDRESS PER FINAL ROLL JULY 1, 2009
1:	PARROTT REALTY, LLC; 319 N. PLANK ROAD, NEWBURGH, NY 12550
2:	CBPS REALTY, LLC; 208 S. PLANK ROAD, NEWBURGH, NY 12550
3:	CNS ESTATES, LLC; PO BOX 44, MONSEY, NY 10952
4:	CRONOMER VALLEY FIRE DISTRICT; 296 N. PLANK ROAD, NEWBURGH, NY 12550
5:	CRONOMER VALLEY FIRE DISTRICT; 296 N. PLANK ROAD, NEWBURGH, NY 12550
6:	CHARLES A. ZILAVY; 14 WEYANTS LANE, NEWBURGH, NY 12550
7:	SULTANA BADER; 67 LEXINGTON DRIVE, NEWBURGH, NY 12550
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9:	ROBERT DILLER; 6 BERRY LANE, NEWBURGH, NY 12550
10:	RICHARD V. TITANIC; 74 KINGS ROAD, NEW WINDSOR, NY 12553
11:	CHRISTOPHER SARRA; 12 BERRY LANE, NEWBURGH, NY 12550



OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

SHAWN JACKSON _____ DATE _____

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON JULY 24, 2017.

THOMAS CERCHIARA P.L.S. _____ SEAL _____



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
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F: 845-440-6637

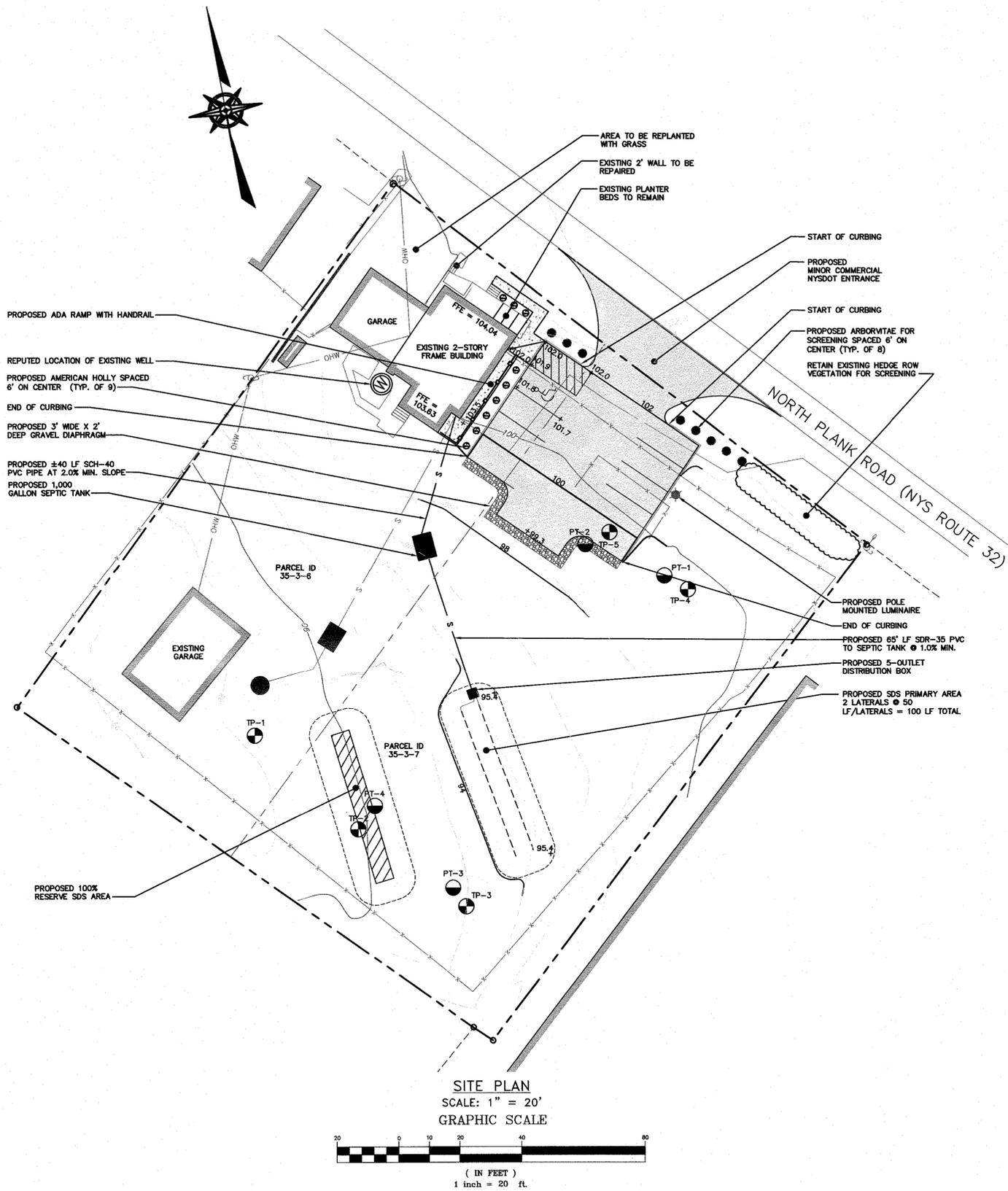
EXISTING CONDITIONS AND REMOVAL PLAN
317 NORTH PLANK ROAD
317 NORTH PLANK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK 12550
TAX ID: 35-3-6 & 35-3-7

Dig Safely. New York
800-962-7962
www.digsafelynewyork.org

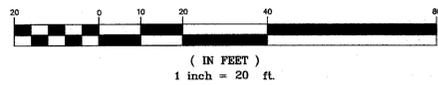
- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

JOB #: 2018:035
DATE: 12/4/18
SCALE: 1" = 20'
TITLE: EX-1
SHEET: 1 OF 5

DRAWN BY: AG				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	08/27/19	PER CONSULTANT COMMENTS	AG				



SITE PLAN
SCALE: 1" = 20'
GRAPHIC SCALE



LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING ADJOINER LINE
- 2.30 --- EXISTING MAJOR CONTOUR
- 2.32 --- EXISTING MINOR CONTOUR
- 100 --- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- OHW --- EXISTING OVERHEAD WIRE
- PROPOSED SILT FENCE
- EXISTING FENCE
- EXISTING WATER MAIN
- WS --- PROPOSED WATER SERVICE LINE
- WS --- PROPOSED WATER SHUT-OFF VALVE
- EXISTING UTILITY POLE
- DEEP TEST PIT
- INFILTRATION TEST

SITE SPECIFIC NOTES:

1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
2. THE CONTRACTOR SHALL CONTACT THE TOWN OF NEWBURGH WATER DEPARTMENT TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERE TO AND GENERALLY ACCEPTED STANDARDS.
3. THE PROPOSED LOT SHALL BE SERVED BY THE TOWN OF NEWBURGH MUNICIPAL WATER AND SEWER SERVICES.
4. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF NEWBURGH WATER DEPARTMENT REQUIREMENTS.
5. THE WATER SERVICE LINE SHALL BE 1" K-COPPER.
6. THE RAW SEWER SERVICE LINE SHALL BE 4" SCH-40 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
7. A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER AND SEWER SERVICES FOR THE NEW LOT. MAINTENANCE AND PROTECTION OF TRAFFIC FOR WATER SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF NEWBURGH AND NYS DOT REQUIREMENTS.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
9. ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
10. SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE TOWN OF NEWBURGH BUILDING DEPARTMENT.
11. THE DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE TOWN OF NEWBURGH'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 45 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 500 FEET TO THE LEFT AND 430 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:
SUBJECT PARCEL: SLSO LEFT = ±985 FEET (TO INTERSECTION OF ROUTE 300)
SLSO RIGHT = ±1,783 FEET

FOR ROADS WITH A SPEED LIMIT OF 45 MPH, AASHTO DESIGN TABLES CALL FOR A STOPPING SIGHT DISTANCE OF 500 FEET TO THE LEFT AND 360 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:

SLSO LEFT = ±985 FEET
SLSO RIGHT = ±1,783 FEET

12. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS, STORM SEWER LINES, SANITARY MANHOLES, SEWER LINES, WATERLINES, AND UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
13. SANITATION COMPANY WILL PROVIDE GARBAGE CANS FOR CURBSIDE PICKUP.

SEWAGE DISPOSAL SYSTEM DESIGN NOTES:

PRIMARY AND RESERVE SEWAGE DISPOSAL SYSTEM (SDS):
PRIMARY AND RESERVE SDS DESIGN FOR AN OFFICE FACILITY WITH 8 EMPLOYEES.

NO FOOTING OR ROOF DRAINS, ETC. SHALL BE ALLOWED TO ENTER THE SYSTEM.

NO KITCHEN SINK GARBAGE DISPOSAL SYSTEMS ARE PLANNED OR INCLUDED IN THE DESIGN.

PRIMARY AND 100% RESERVE SDS AREAS SHALL BE SHALLOW ABSORPTION SYSTEMS. GROUNDWATER MOTTLING WAS OBSERVED AT 36" BELOW EXISTING GRADE WITHIN THE VICINITY OF THE PROPOSED ABSORPTION FIELDS. THEREFORE, 1 FOOT MINIMUM OF SAND AND GRAVELLY LOAM IS REQUIRED TO BE PLACED IN THE LIMITS OF FILL SHOWN ON THE PLANS.

DESIGN FLOW = 96 GPD (8 EMPLOYEES @ 15 GPD/EMPLOYEE = 120 GPD). THE USE OF WATER-SAVING FIXTURES ALLOWS THE FLOW TO BE REDUCED BY 15%, OR 12 GPD/EMPLOYEE FOR A RESULTANT FLOW OF 96 GPD.

THE PROPOSED SEPTIC TANK SIZE FOR THE OFFICE FACILITY IS 1,000 GALLONS.

PRIMARY AREA SDS DESIGN:

THE PERCOLATION RATE STABILIZED AT 39 MIN/IN RESULTING IN AN APPLICATION RATE OF 0.50 GPD/SF. THIS 96 LF OF 2' WIDE SHALLOW ABSORPTION TRENCHES ARE REQUIRED. PROPOSED SDS DESIGN PROVIDES 2 LATERALS AT 50 LF/LATERAL FOR A TOTAL OF 100 LF OF TRENCH.

100% RESERVE AREA SDS DESIGN:

THE 100% RESERVE AREA IS BASED UPON THE SAME STABILIZED PERCOLATION RATE (39 MIN/IN) AND THE SAME APPLICATION RATE OF 0.50 GPD/SF. THE 100% EXPANSION AREA DESIGN UTILIZES THE SAME DESIGN STANDARDS AND DESIGN AS THE PRIMARY SDS AREA.

SUBSURFACE SEWAGE DISPOSAL NOTES:

1. PROPOSED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND SHALL BE CONTINUALLY IN PLACE UNTIL THE END OF CONSTRUCTION AND STABILIZATION OF DISTURBED EARTH.
2. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS VIA TEMPORARY OR PERMANENT VEGETATIVE ESTABLISHMENT.
3. THE PROPOSED RAW SEWER LINE SHALL BE SET AT SUCH ELEVATION TO ENSURE GRAVITY FLOW FROM HOUSE TO THE PROPOSED SEPTIC TANK AND PUMP CHAMBER, WHILE MAINTAINING PROPER EARTH COVER ABOVE ALL PIPING.

PARKING NOTES:

1. PROPOSED PARKING LOT SPACE QUANTITY DETERMINED FROM REVIEW OF THE TOWN OF NEWBURGH ZONING CODE SECTION 185-13C (b), AND CHAPTER 185 ZONING, ATTACHMENT 2 AS FOLLOWS:
 1. 185-13C (b): 1 SPACE PER 200 SQFT OF FLOOR AREA FOR THE FIRST 20,000 SQFT. THE OFFICE SPACE FLOOR AREA IS APPROXIMATELY 1,570 SQFT REQUIRING 7.85 OR 8 PARKING SPACES
 2. CODE 716: GENERAL OFFICE BUILDING, WEEKDAY PEAK = 0.79 AVERAGE PACKAGE GENERATION RATE X 8 EMPLOYEES = 6.32 SPACES = 7 SPACES REQUIRED.
3. A TOTAL OF NINE (9) SPACES ARE PROVIDED. TWO (2) ARE EXISTING IN FRONT OF THE EXISTING GARAGE, AND 7 NEW SPACES INCLUDING ONE (1) ACCESSIBLE SPACE ARE PROVIDED ON THE EAST SIDE OF THE BUILDING.



SITE MAP SCALE: 1" = 500'

ADJOINING OWNERS:

- PARCEL: OWNER & ADDRESS PER FINAL ROLL JULY 1, 2009
- 1: PARROTT REALTY, LLC; 319 N. PLANK ROAD, NEWBURGH, NY 12550
- 2: CBPS REALTY, LLC; 208 S. PLANK ROAD, NEWBURGH, NY 12550
- 3: ONS ESTATES, LLC; PO BOX 44; MONSEY, NY 10952
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- 10: RICHARD V. TITANIC; 74 KINGS ROAD, NEW WINDSOR, NY 12553
- 11: CHRISTOPHER SARRA; 12 BERRY LANE, NEWBURGH, NY 12550

SCHEDULE OF REGULATIONS (B ZONING DISTRICT) & LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	35-3-7 & 35-3-6
LOT AREA:	15,000 SQUARE FEET MIN	38,973 SQFT
LOT WIDTH:	100 FEET MINIMUM	180.7 FT
LOT DEPTH:	125 FEET MINIMUM	201.2 FT
YARD SETBACKS:		
FRONT YARD:	60 FEET MINIMUM**	14.8 FT* (1)
SIDE YARD:	15 FEET MINIMUM	10.1 FT* (1)
SIDE YARD (TOTAL OF TWO):	30 FEET MINIMUM TOTAL	140.8 FT
REAR YARD:	30 FEET MINIMUM	150.7 FT
YARD SETBACKS (ACCESSORY STRUCTURE):		
SIDE YARD:	5 FEET MINIMUM	21.2 FT
REAR YARD:	5 FEET MINIMUM	26.3 FT
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FT
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12 FT
BUILDING COVERAGE:	MAX 40% (NO PUBLIC WATER & SEWER)	6.3%

* PRE-EXISTING, NON-CONFORMING RESIDENCE
** THE BUSINESS PARK ZONING DISTRICT FRONT YARD SETBACK IS 40 FEET. SECTION 195-18(4)(B) IDENTIFIES THAT "ALL FRONT YARDS ABUTTING ALL COUNTY AND STATE HIGHWAYS SHALL BE AT LEAST 60 FEET IN DEPTH, EXCEPT WHERE MAJORITY OF THE EXISTING BUILDINGS ON EITHER SIDE OF THE ROAD WITHIN 300 FEET FROM THE INTERSECTION OF THE NEAREST PROPERTY LINE/STREET LINE ARE OF A LESSER AVERAGE DEPTH. IN SUCH A CASE, THE FRONT YARD DEPTH SHALL BE 50 FEET WHERE THE AVERAGE OF ALL LOT DEPTHS WITHIN 300 FEET, WHICHEVER IS GREATER." THEREFORE, AN AREA VARIANCE IS REQUESTED FROM A 60 FEET FRONT YARD SETBACK AND A 15 FEET SIDE YARD SETBACK WHERE 60 FEET AND 15 FEET ARE REQUIRED RESPECTIVELY.
(1) VARIANCE GRANTED BY TOWN OF NEWBURGH ZONING BOARD OF APPEALS ON MARCH 28, 2019.

PERCOLATION TEST TABLE:

TEST	RESULTS ESTABLISHED ON 8/20/2018
PT1: 24" DEEP:	15 MIN/IN; 18 MIN/IN; 21 MIN/IN; 21 MIN/IN
PT2: 18" DEEP:	6 MIN/IN; 7 MIN/IN; 9 MIN/IN; 10 MIN/IN
PT3: 18" DEEP:	33 MIN/IN; 37 MIN/IN; 39 MIN/IN
PT4: 24" DEEP:	12 MIN/IN; 24 MIN/IN; 25 MIN/IN

DEEP TEST HOLE TABLE:

TEST	RESULTS ESTABLISHED ON 8/20/18
TP1: 0'-6" TOPSOIL, 6"- 60" BROWN SANDY CLAY LOAM, NO BEDROCK, GROUNDWATER @ 60", NO MOTTLING	
TP2: 0'-6" TOPSOIL, 6"- 80" BROWN SANDY CLAY LOAM, BEDROCK @ 80", GROUNDWATER @ 60", MOTTLING @ 42"	
TP3: 0'-8" TOPSOIL, 8"- 72" BROWN SANDY CLAY LOAM, NO BEDROCK, GROUNDWATER @ 60", MOTTLING @ 36"	
TP4: 0'-8" TOPSOIL, 8"- 87" BROWN SANDY CLAY LOAM, NO BEDROCK, GROUNDWATER @ 63", MOTTLING @ 42"	
TP5: 0'-8" TOPSOIL, 8"- 60" BROWN SANDY CLAY LOAM, NO BEDROCK, GROUNDWATER @ 60", MOTTLING @ 40"	

DRAWN BY: AG

CHECKED BY: MAB

REVISIONS:

REVISIONS:

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	06/27/19	PER CONSULTANT COMMENTS	AG				

Dig Safely. New York
800-962-7962
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care



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PROFESSIONAL ENGINEERING P.C.
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13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926
F: 845-440-6637

PRELIMINARY LOT CONSOLIDATION AND SITE PLAN

317 NORTH PLANK ROAD

317 NORTH PLANK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 35-3-6 & 35-3-7

JOB #: 2018:035

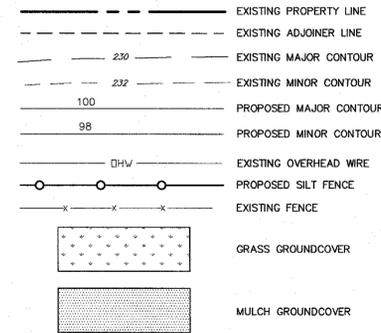
DATE: 12/4/18

SCALE: 1" = 20'

TITLE: SP-1

SHEET: 2 OF 5

LEGEND



EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
2. ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
3. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
4. ANY PILE OF POTENTIALLY EROSIIVE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
5. PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAILS SHEET.
6. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS.
7. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
8. THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
9. THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
10. THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
11. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
12. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE TOWN ENGINEER AND QUALIFIED PROFESSIONAL.

INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

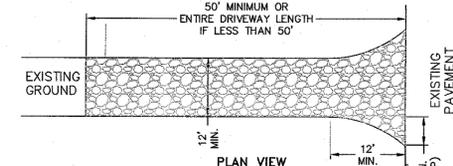
PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE:
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.

SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

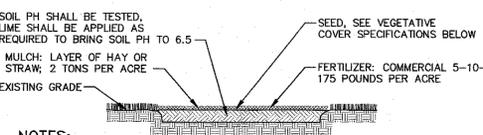
SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.



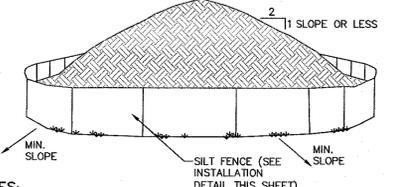
- NOTES:**
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 3. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 4. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



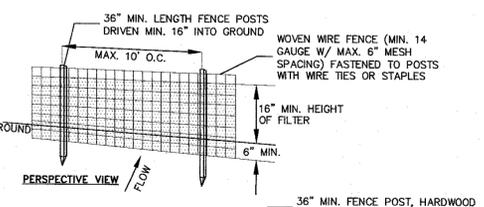
- NOTES:**
1. TOPSOIL, SEED, MULCH, AND FERTILIZER DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.
 2. SEED MIXTURE FOR USE ON LAWNS IN SUNNY AREAS:
65% KENTUCKY BLUE GRASS BLEND 114 POUNDS PER ACRE
20% PERENNIAL RYEGRASS 35 POUNDS PER ACRE
15% FINE FESCUE 98 POUNDS PER ACRE
175 POUNDS PER ACRE
 3. SEED MIXTURE FOR USE IN SHADY AREAS:
80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS 138 POUNDS PER ACRE
20% FINE FESCUE 37 POUNDS PER ACRE
175 POUNDS PER ACRE
 4. SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.
 5. TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20% TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

TOPSOIL, SEED AND MULCH DETAIL
NOT TO SCALE



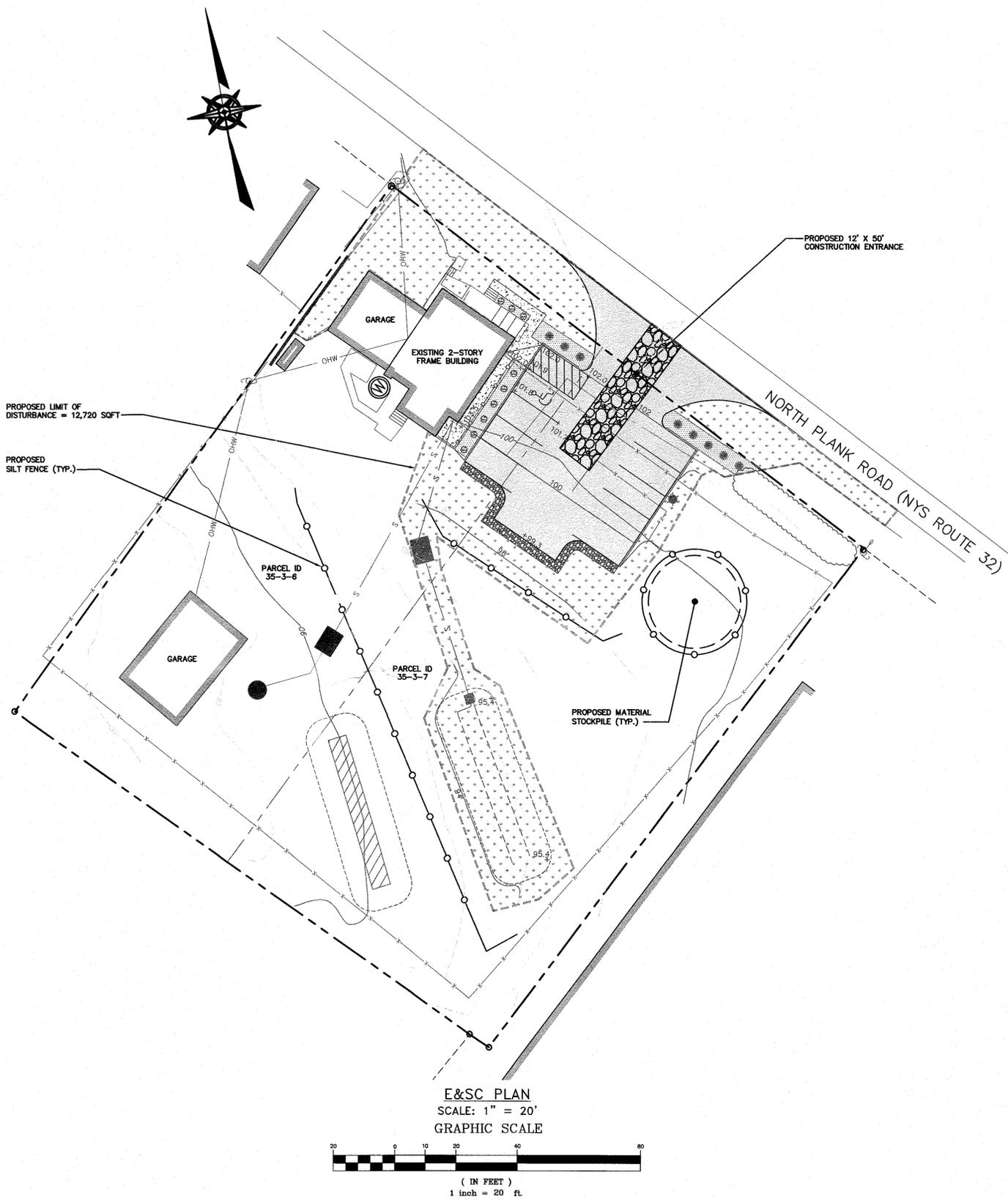
- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE

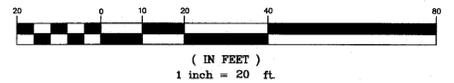


- NOTES:**
1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N OR APPROVED EQUAL.
 3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
NOT TO SCALE



E&S PLAN
SCALE: 1" = 20'
GRAPHIC SCALE



DRAWN BY: AG				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
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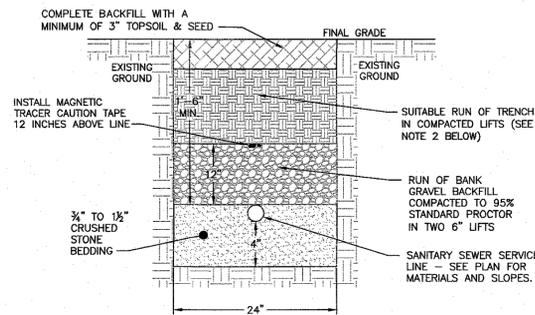
- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care



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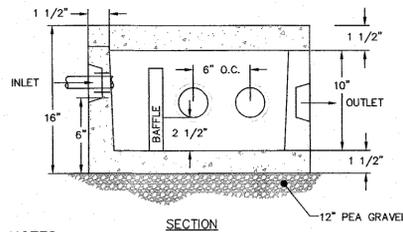
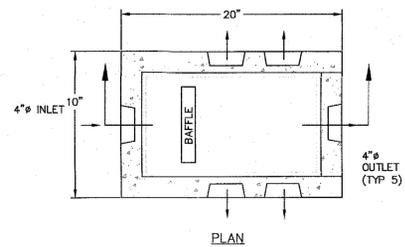
EROSION & SEDIMENT CONTROL PLAN
317 NORTH PLANK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 35-3-6 & 35-3-7

JOB #: 2018-035
DATE: 12/4/18
SCALE: 1" = 20'
TITLE: EC-1
SHEET: 3 OF 5



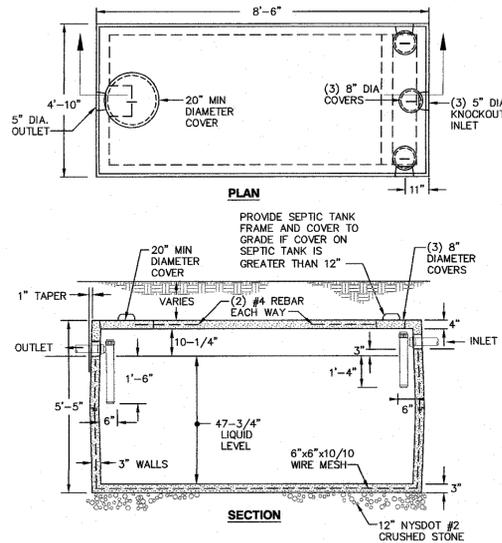
- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SEWAGE EFFLUENT LINE TRENCH DETAIL
NOT TO SCALE



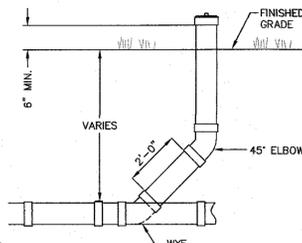
- NOTES:**
- ALL OUTLETS SHALL BE SET AT THE SAME ELEVATION. DISTRIBUTION BOX SHALL BE SET LEVEL AND ALL UNUSED INLETS/OUTLETS SHALL BE PLUGGED.
 - PRE-CAST DISTRIBUTION BOX SHOWN IS MODEL DB-6WB 5 OUTLET BOX, WOODARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT RD., BULVILLE, NY (845) 361-3471.
 - BAFFLE SHALL BE PROVIDED BY CONTRACTOR.
 - A MINIMUM OF 4" SOLID PIPE MUST BE PROVIDED BETWEEN THE DISTRIBUTION BOX AND PERFORATED LATERALS.
 - COVER OVER THE DISTRIBUTION BOX IS TO BE A MAXIMUM OF 12".
 - FLOW EQUALIZERS ARE REQUIRED ON ALL USED OUTLETS.

PRECAST 5-OUTLET CONCRETE DISTRIBUTION BOX WITH BAFFLE DETAIL
NOT TO SCALE



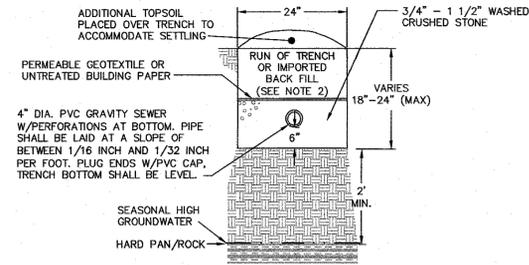
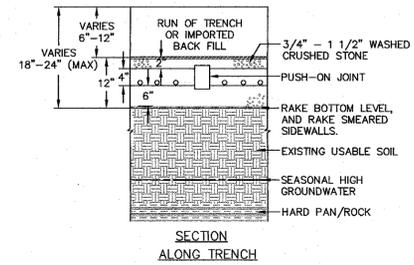
- NOTES:**
- IF TANK IS DELIVERED TO THE SITE IN SECTIONS, THE CONTRACTOR SHALL MAKE IT WATER TIGHT. A 24-HOUR WATER TIGHTNESS TEST SHALL BE COMPLETED BY THE CONTRACTOR, WITNESSED BY THE ENGINEER AND THE DCHD, AND SHALL INCLUDE FILLING THE TANK AND MEASURING WATER LEVEL.
 - ALL JOINTS SHALL BE CAULKED.
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
 - PRE-CAST SEPTIC TANK SHOWN IS MODEL ST-1000, BY WOODARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT RD., BULVILLE, NY (845) 361-3471.
 - SANITARY TEE SHALL BE USED ON INLET SIDE TO MEET REQUIRED 16" BAFFLE DEPTH BELOW LIQUID LEVEL.

PRECAST CONCRETE 1,000 GALLON SEPTIC TANK DETAIL
NOT TO SCALE



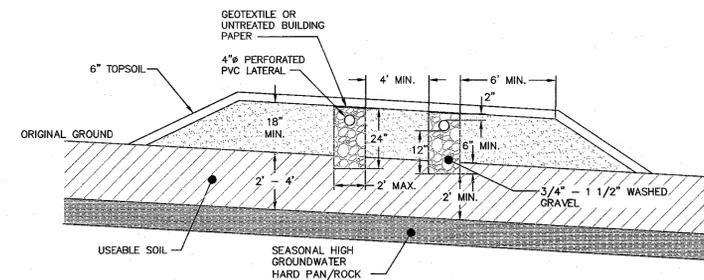
- NOTES:**
- SEWER PIPE AND FITTINGS SHALL BE ASTM D-3033 OR D-3034 SDR-35.
 - CLEANOUT SHALL BE INSTALLED FOR RESERVE SYSTEM ONLY; MIN. EVERY 75 FEET.

CLEANOUT DETAIL
NOT TO SCALE



- NOTES:**
- SPACING BETWEEN ABSORPTION FIELD TRENCHES IS 6' O.C.
 - FOR INGROUND SYSTEM, BACKFILL TRENCH WITH RUN OF TRENCH BACKFILL.
 - TOTAL TRENCH DEPTH NOT TO EXCEED 24".

ABSORPTION TRENCH DETAIL
NOT TO SCALE



- NOTES:**
- BOTTOM OF ALL TRENCHES SHALL BE 6" MINIMUM BELOW ORIGINAL GRADE.
 - USEABLE FILL MATERIAL SHALL HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE ORIGINAL USEABLE SOIL PERCOLATION RATE. THE FILL MATERIAL SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.
 - MAXIMUM DEPTH OF USEABLE FILL PLUS SIX INCHES OF TOPSOIL SHALL NOT EXCEED 30 INCHES.
 - ON SLOPED SITES, A DIVERSION DITCH OR FRENCH DRAIN SHALL BE CONSTRUCTED UPHILL FROM THE FILL TO PREVENT SURFACE RUNOFF FROM ENTERING THE FILL.

SHALLOW ABSORPTION TRENCH SYSTEM DETAIL
NOT TO SCALE

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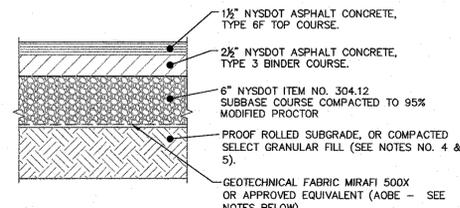


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SDS DETAILS
317 NORTH PLANK ROAD

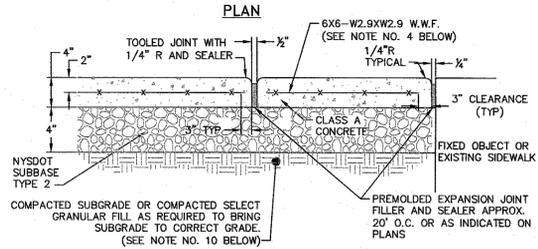
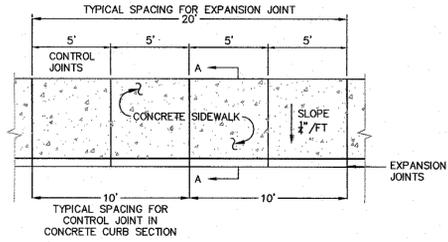
317 NORTH PLANK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 35-3-6 & 35-3-7

JOB #: 2018-035
DATE: 12/4/18
SCALE: AS NOTED
TITLE: SD-2
SHEET: 5 OF 5



- NOTES:**
1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, LATEST REVISION.
 2. SUBGRADE SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.
 3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 5. IT IS EXPECTED THAT THE EXISTING SITE SUB-SOILS ARE SUITABLE. IF UNSUITABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR POSSIBLE MODIFICATIONS TO THE PAVEMENT DETAIL.

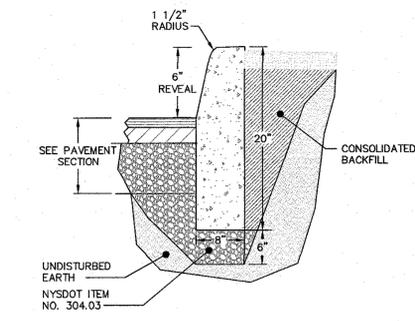
PAVEMENT SECTION DETAIL
NOT TO SCALE



EXPANSION JOINT

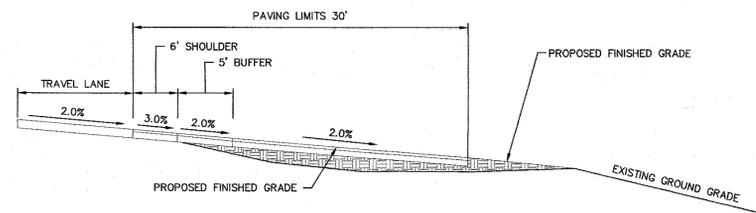
- NOTES:**
1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.
 2. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, LATEST REVISION.
 3. ALL CONCRETE SHALL BE 3,500 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 4. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
 5. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
 6. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20' ON CENTER, OR AS INDICATED ON PLANS.
 7. JOINTS SHALL NOT BE SAW CUT.
 8. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFEbond" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.
 9. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 10. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 11. ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

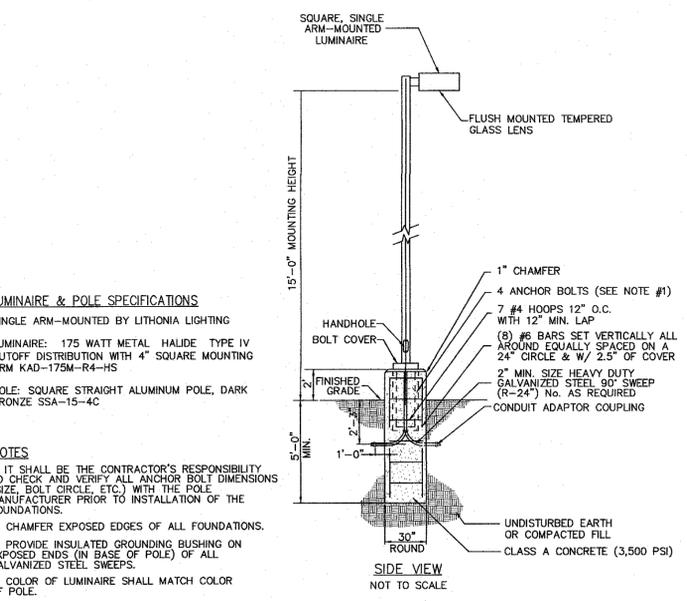


- NOTES:**
1. CONCRETE CURB SHALL BE 4000 PSI CAST-IN-PLACE.
 2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS.

CAST-IN-PLACE CONCRETE CURB DETAIL
NOT TO SCALE



DRIVEWAY PROFILE FOR UNCURBED HIGHWAY WITHOUT SIDEWALK IN FILL SECTION WITHOUT ROADSIDE DITCH
NOT TO SCALE

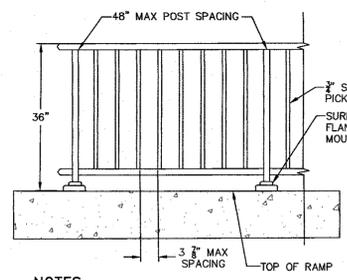


LUMINAIRE & POLE SPECIFICATIONS

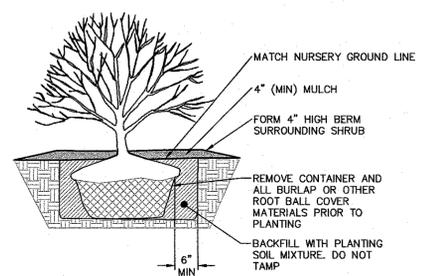
SINGLE ARM-MOUNTED BY LITHONIA LIGHTING
LUMINAIRE: 175 WATT METAL HALIDE TYPE IV CUTOFF DISTRIBUTION WITH 4" SQUARE MOUNTING ARM KAD-175M-R4-HS
POLE: SQUARE STRAIGHT ALUMINUM POLE, DARK BRONZE SSA-15-4C

- NOTES:**
1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE POLE MANUFACTURER PRIOR TO INSTALLATION OF THE FOUNDATIONS.
 2. CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.
 3. PROVIDE INSULATED GROUNDING BUSHING ON EXPOSED ENDS (IN BASE OF POLE) OF ALL GALVANIZED STEEL SWEEPS.
 4. COLOR OF LUMINAIRE SHALL MATCH COLOR OF POLE.
 5. THE LIGHT SOURCE SHALL BE COMPLETELY SHIELDED TO PREVENT HORIZONTAL GLARE.

POLE AND LUMINAIRE DETAIL
NOT TO SCALE

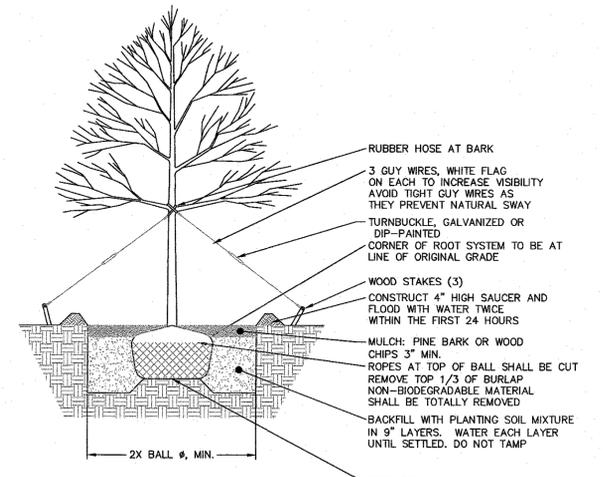


3/4" PICKET FENCE DETAIL FOR ADA RAMP
NOT TO SCALE



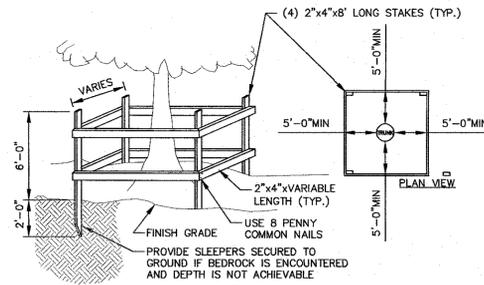
SHRUB PLANTING DETAIL
NOT TO SCALE

- NOTE:**
1. WATER PER NURSERY SPECIFICATIONS IMMEDIATELY FOLLOWING PLANTING.
 2. DETAIL IS FOR BOTH BALL & BURLAPPED OR CONTAINERED SHRUBS.



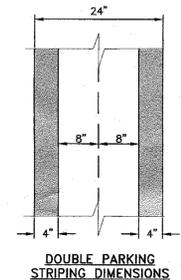
TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:**
1. PROPOSED TREES TO BE ARBOVITAE. REFER TO SHEET 2 PLANS FOR LOCATIONS.

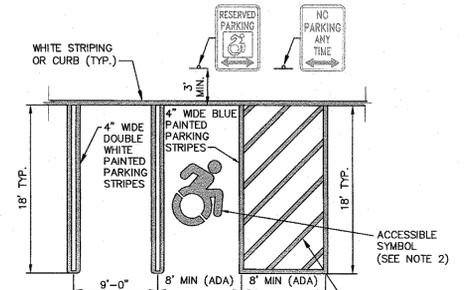


TEMPORARY TREE PROTECTION DETAIL
NOT TO SCALE

- NOTES:**
1. TREES TO REMAIN NOTED ON EXISTING CONDITIONS PLAN.
 2. NOT ALL TREES TO REMAIN REQUIRE PROTECTION. TREE PROTECTION TO BE UTILIZED ON TREES WHERE CONSTRUCTION TRAFFIC WOULD COMPACT THE ROOT ZONE OF THE TREE.



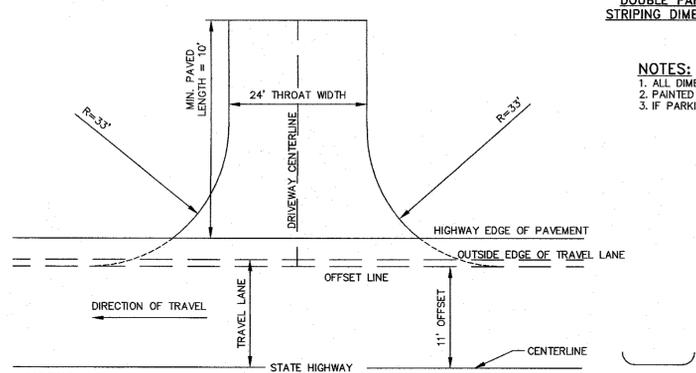
DOUBLE PARKING STRIPING DIMENSIONS



TYPICAL PARKING STRIPING
ACCESSIBLE PARKING STRIPING

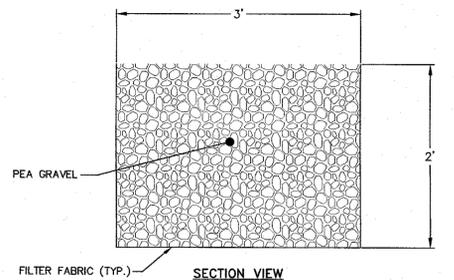
- NOTES:**
1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.
 2. PAINTED ACCESSIBLE SYMBOL TO BE IN ACCORDANCE WITH NYSDOT AND ADA STANDARDS.
 3. IF PARKING ADJUTS A SIDEWALK, THEN THE REGULATORY SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.

PARKING AND STRIPING DETAIL
NOT TO SCALE



NYSDOT TYPE 1 MINOR COMMERCIAL ENTRANCE DETAIL
NOT TO SCALE

- NOTES:**
1. REFER TO PAVEMENT SECTION DETAIL FOR PAVEMENT REQUIREMENTS WITHIN RIGHT OF WAY.
 2. GRADE DRIVEWAY AWAY FROM HIGHWAY AT SAME PITCH AS EXISTING PAVED SHOULDER FOR A MINIMUM DISTANCE OF 10'.
 3. A DRIVEWAY CULVERT IS NOT REQUIRED FOR THIS PROJECT.
 4. CUT/FILL SLOPES SHALL BE CONSTRUCTED NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL (2:1). NYSDOT SHALL EVALUATE CUT/FILL SLOPES FOR ACCEPTABILITY.
 5. DRIVEWAY THROAT WIDTH SHALL BE 24' FEET MINIMUM FOR 30 FEET FROM EDGE OF PAVEMENT.
 6. ENTRANCE DETAIL IS IN ACCORDANCE WITH THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 5, APPENDIX 5A, DATED SEPTEMBER 1, 2017, AND NYSDOT STANDARD SHEET 608-03 "RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS" DATED MARCH 07, 2016.



PEA-GRAVEL DIAPHRAGM DETAIL
NOT TO SCALE

- NOTES:**
1. SEE PLANS FOR LENGTH AND TABLE BELOW FOR REQUIRED WIDTH AND DEPTH.
 2. APPROXIMATELY 6" OF THE TOP OF THE STONE DIAPHRAGM CAN BE DECORATIVE STONE.

REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	06/27/19	PER CONSULTANT COMMENTS	AG				



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SITE DETAILS
317 NORTH PLANK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 35-3-6 & 35-3-7

JOB #: 2018-035
DATE: 12/4/18
SCALE: AS NOTED
TITLE: SD-1
SHEET: 4 OF 5