



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: AMENDED SUBDIVISION 3 MARINERS COURT-PAPALEO
CLEARING & GRADING PERMIT
PROJECT NO.: 24-35
PROJECT LOCATION: SECTION 121, BLOCK 1, LOT 7
REVIEW DATE: 28 JANUARY 2026
MEETING DATE: 5 FEBRUARY 2026
PROJECT REPRESENTATIVE: DAVID NIEMOTKO, ARCHITECT

1. Recent plans submissions last revised 3 January 2025 do not depict field conditions. Previous mapping submitted with revision dates of October 23, 2025, depicts a retaining wall partially constructed at the southerly property line. No retaining wall is depicted on the recently submitted plans.
2. Previous comments requested an as-built condition survey of the site in order to establish current filling operations on the site. No as-built map has been provided.
3. Survey information is identified as being provided from publicly available sources dated 2024 prior to any filling operation on the site.
4. The DEC has recently notified the Town of Newburgh that an eagle nest exists within the vicinity of the project. The project should be referred to NYSDEC for review of a potential impacts to this protected species.
5. Additional design details on the retaining wall was requested at the 6 November 2025 meeting.
6. ARB approval for the retaining wall is required.
7. Limits of disturbance do not identify the entire disturbance required for the installation of the proposed culvert.
8. A Public Hearing is required to be held for the Clearing and Grading Permit.
9. A Building Department and/or Planning Board may wish to request a geotechnical evaluation for slope stability proposed on the plans.

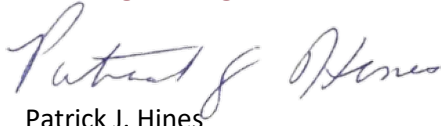
NEW YORK OFFICE

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845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

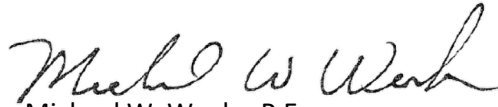
111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

Respectfully submitted,
MHE Engineering, D.P.C.

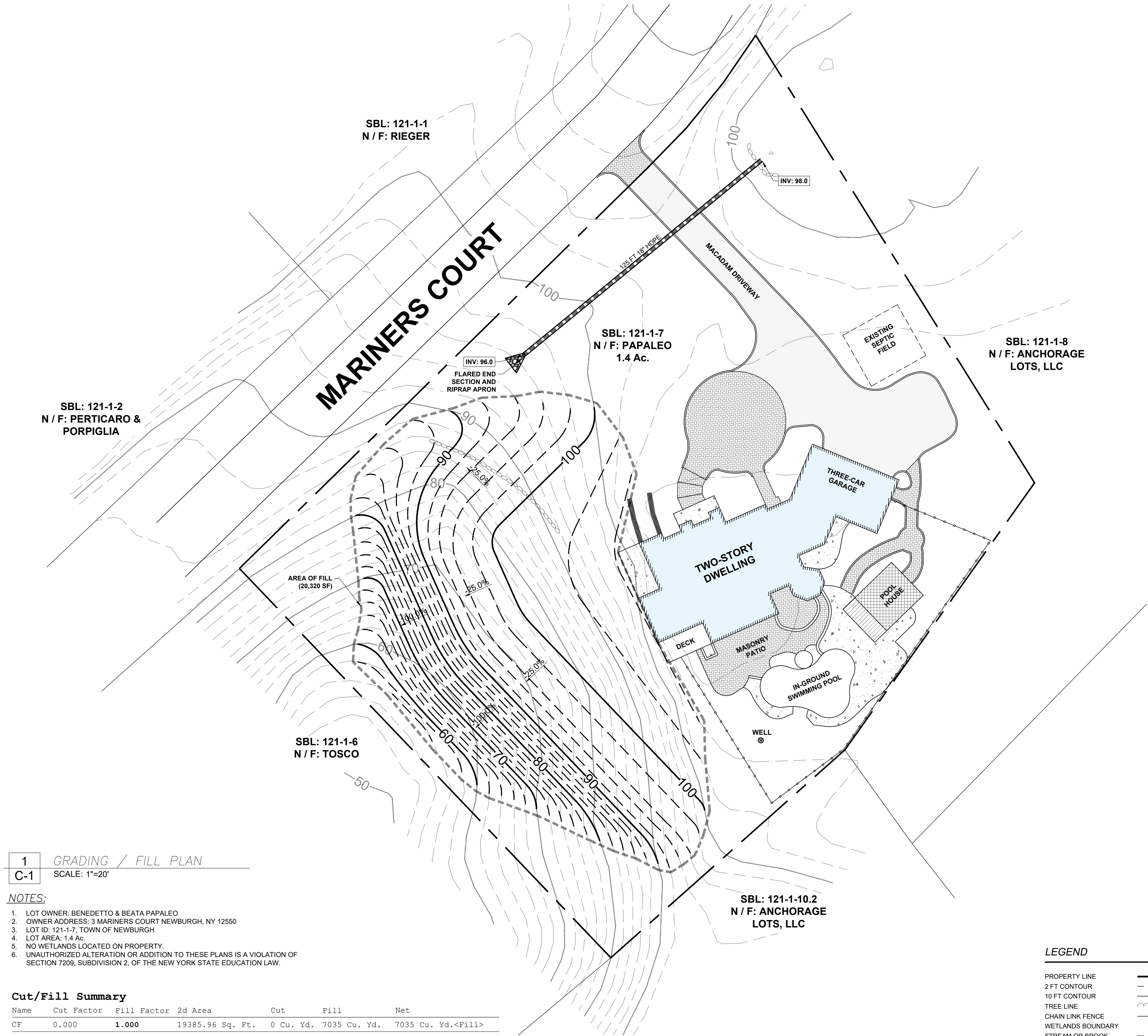


Patrick J. Hines
Principal

PJH/kmm



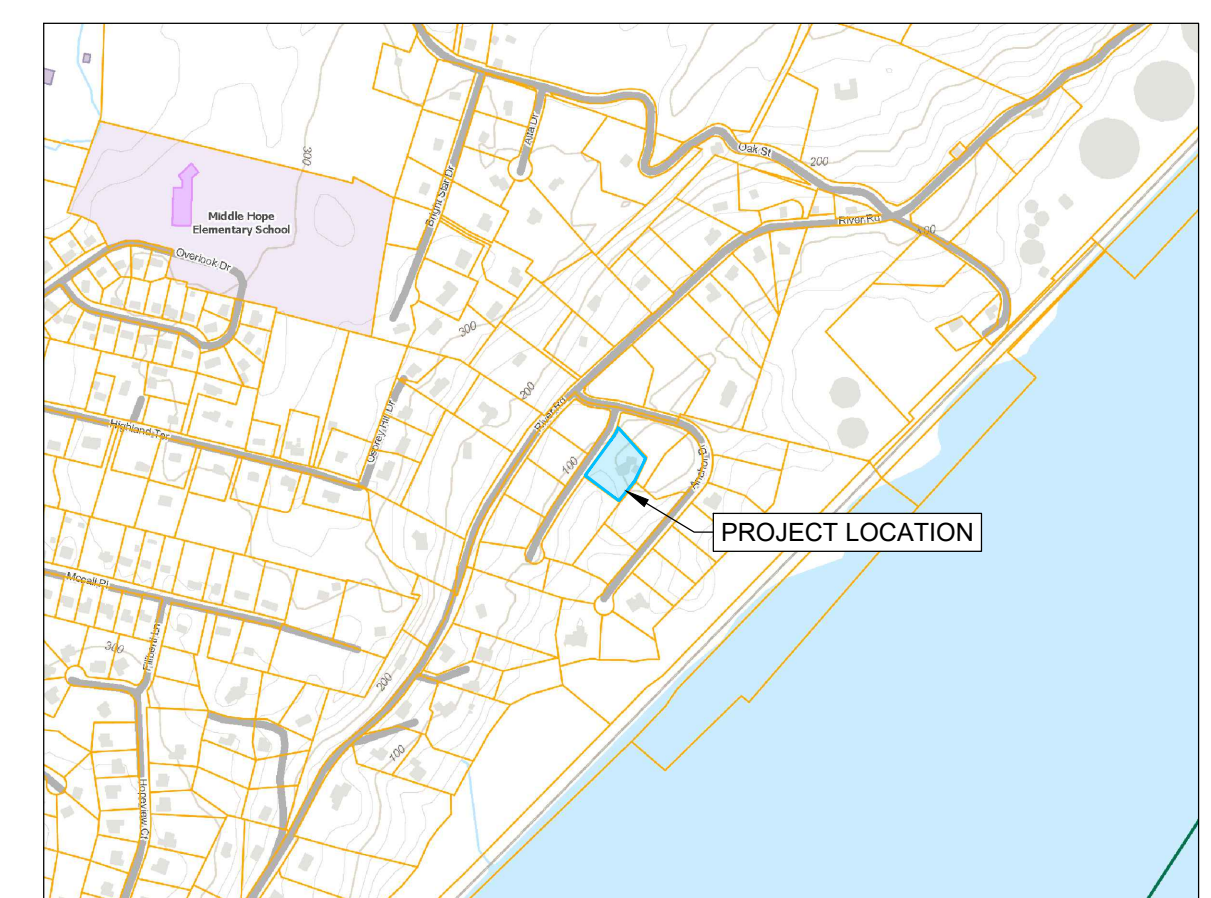
Michael W. Weeks, P.E.
Principal



1 GRADING / FILL PLAN
C-1 SCALE: 1"=20'

- NOTES:
- LOT OWNER: BENEDETTO & BEATA PAPALEO
 - OWNER ADDRESS: 3 MARINERS COURT NEWBURGH, NY 12550
 - LOT ID: 121-1-7, TOWN OF NEWBURGH
 - LOT AREA: 1.4 Ac.
 - NO WETLANDS LOCATED ON PROPERTY.
 - UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

Cut/Fill Summary						
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
CF	0.000	1.000	19385.96 Sq. Ft.	0 Cu. Yd.	7035 Cu. Yd.	7035 Cu. Yd.<Fill>
Totals			19385.96 Sq. Ft.	0 Cu. Yd.	7035 Cu. Yd.	7035 Cu. Yd.<Fill>



2 VICINITY MAP
C-1 SCALE: 1"=1000'

- REFERENCES:
- VICINITY MAP TAKEN FROM ORANGE COUNTY GIS SERVICES, TOWN OF NEWBURGH, 2024.
 - TOPOGRAPHIC INFORMATION TAKEN FROM NEW YORK STATE GIS, 2024



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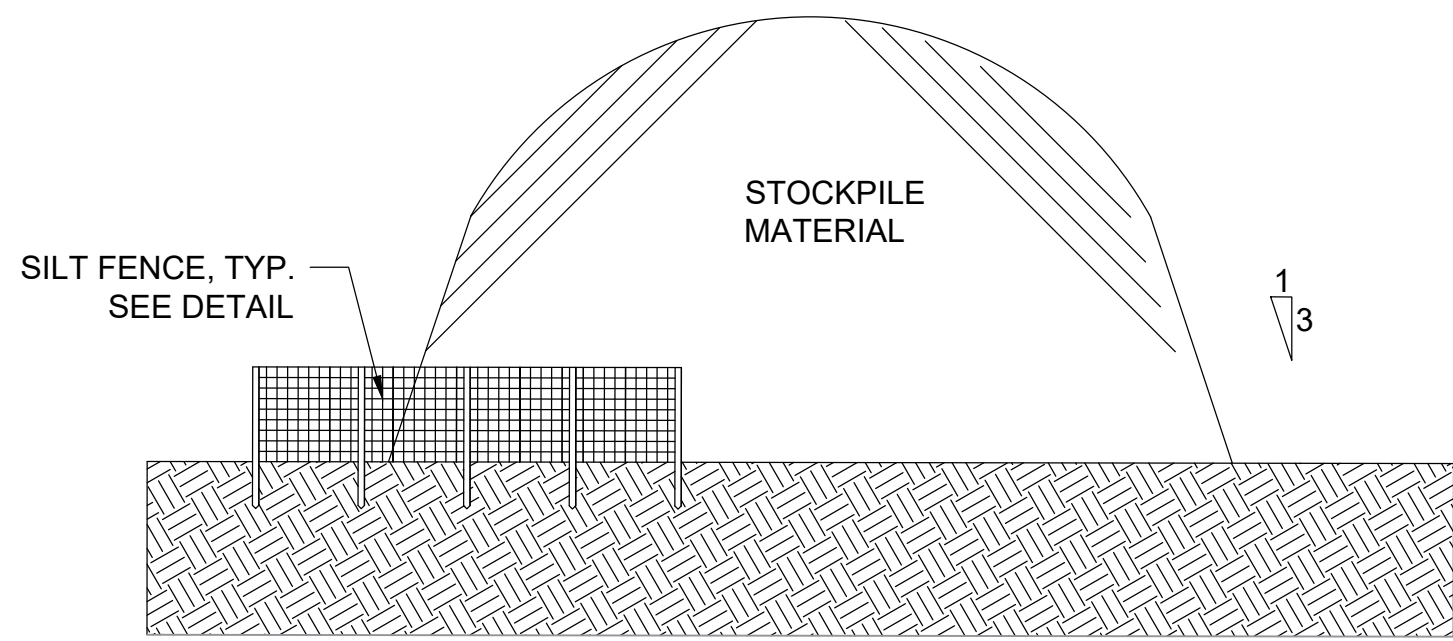
NOTE
FOR AUTHENTICITY
SEAL MUST BE ORIGINAL AND
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GRADING / FILL PLAN		
SHEET TITLE:	SITE GRADING AND FILL PLAN	
PROJECT:	3 MARINERS COURT NEWBURGH, NY 12550	
CLIENT:	BEN PAPALEO 468 RIVER RD NEWBURGH, NY 12550	

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	08/15/2024

SHEET No.
C-1
PAGE 1 OF 3



TYPICAL STOCKPILE DETAIL
SCALE: NTS

SBL: 121-1-1
N / F: RIEGER

SBL: 121-1-2
N / F: PERTICARO &
PORPIGLIA

STABILIZATION MATS
(SEE DETAIL)

SBL: 121-1-6
N / F: TOSCO

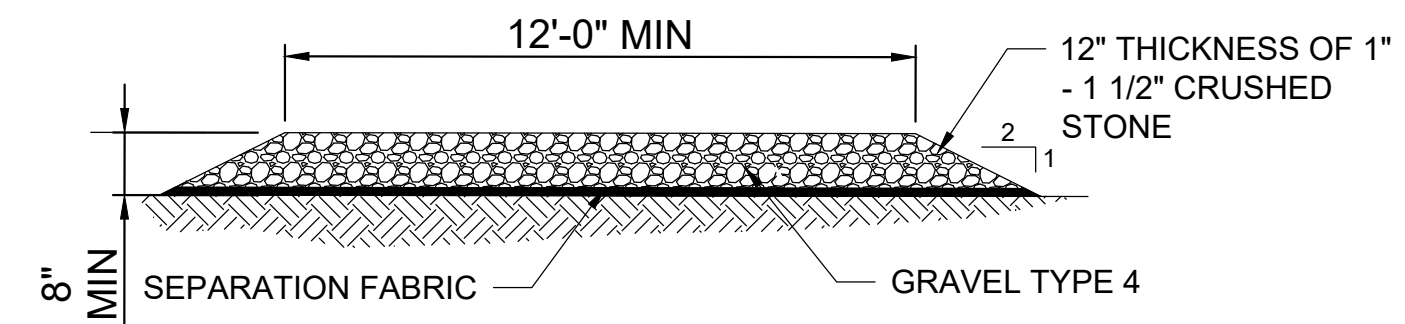
SILT FENCE (TYP.)
LIMIT OF DISTURBANCE
(26,475 SF / 0.61 Ac.)

SBL: 121-1-7
N / F: PAPALEO
1.4 Ac.

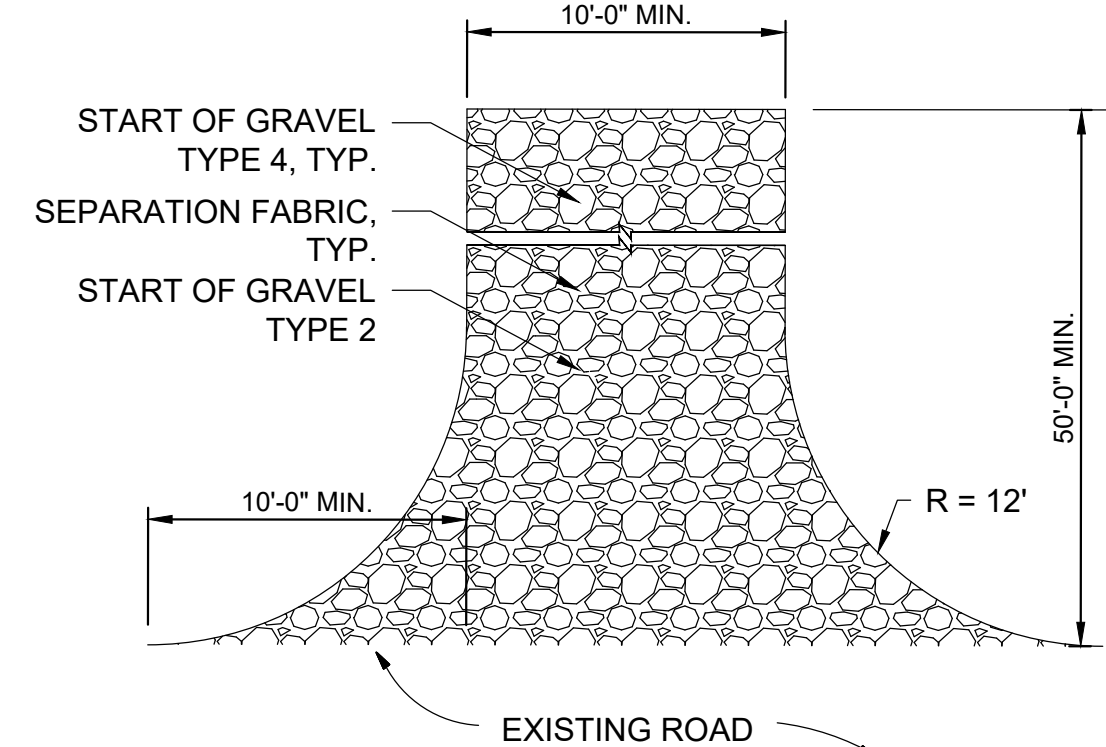
STABILIZED
CONSTRUCTION
ENTRANCE

SBL: 121-1-10.2
N / F: ANCHORAGE
LOTS, LLC

SBL: 121-1-8
N / F: ANCHORAGE
LOTS, LLC



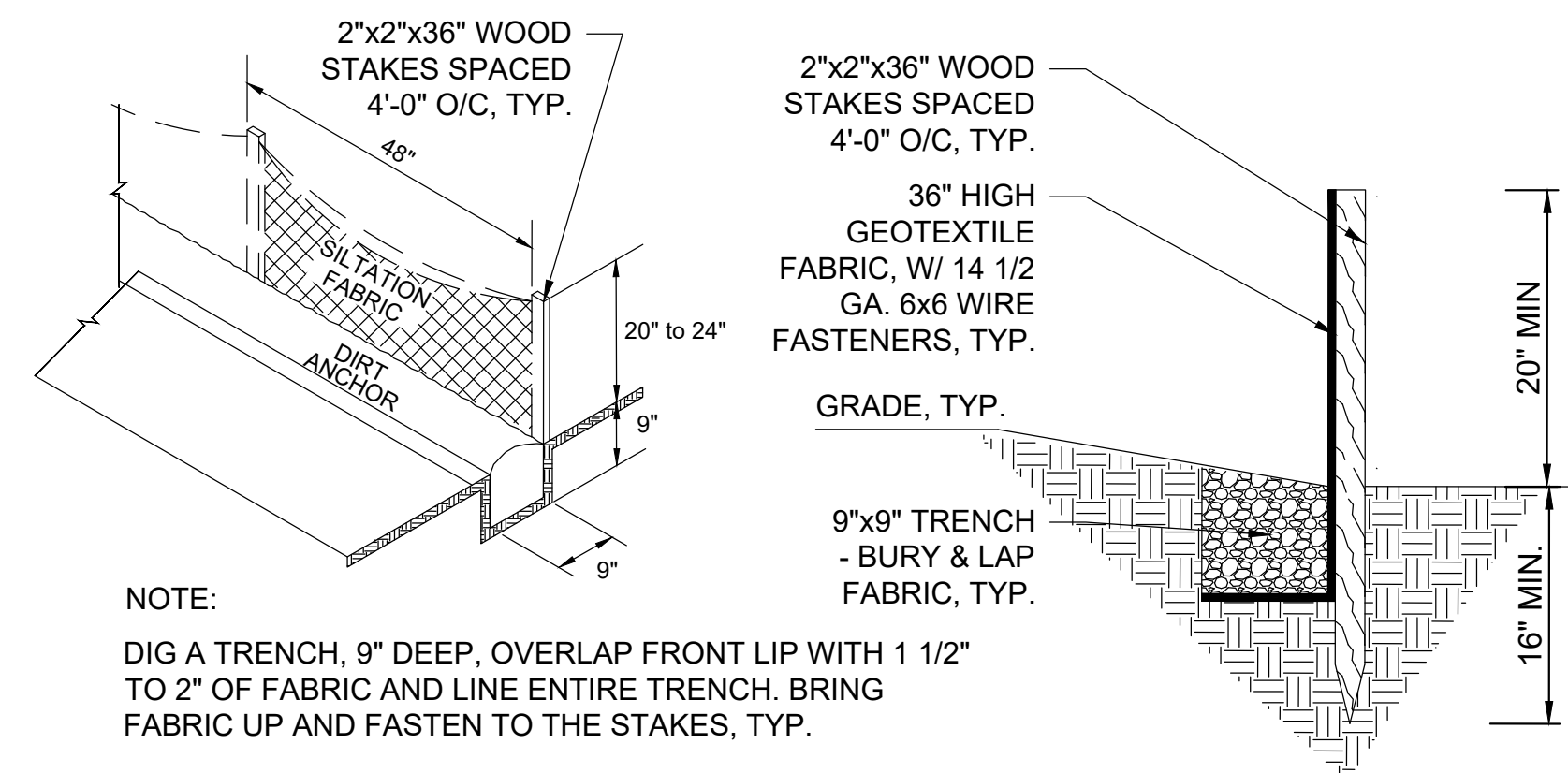
- NOTE:
- EXISTING DRAINAGE ROUTE SHALL BE MAINTAINED BY INSTALLING CULVERTS AT CROSSINGS.
 - STAGING AND STOCKPILING ARE CAN BE MADE OF THE SAME MATERIALS.



STABILIZED CONSTRUCTION
ENTRANCE & STAGING AREA
SCALE: NTS

NOTES

- ENTRANCE TO BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO THE PUBLIC ROAD OR R.O.W.
- SPILLED OR DROPPED SEDIMENT TO BE REMOVED IMMEDIATELY.
- A CRUSHED STONE, VEHICLE WHEEL CLEANING AREA SHALL BE INSTALLED WHERE THE CONSTRUCTION ACCESS ROAD INTERSECTS A PUBLIC ROAD. THE AREA SHALL BE COMPOSED OF CRUSHED STONE WITH A FILTER FABRIC UNDERNEATH THE ENTIRE AREA. SEE PLAN FOR DIMENSIONS.
- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL PIPED UNDERNEATH WITH MOUNTABLE BERMS ALONGSIDE.



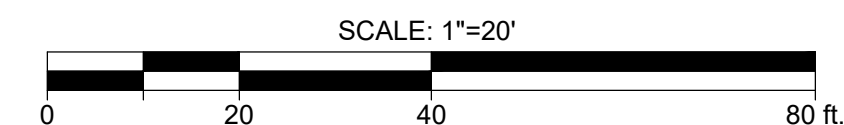
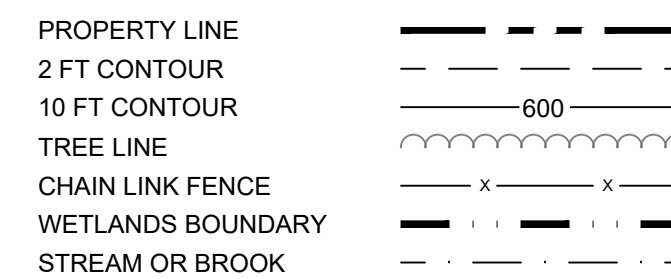
- NOTE:
- DIG A TRENCH, 9" DEEP, OVERLAP FRONT LIP WITH 1 1/2" TO 2" OF FABRIC AND LINE ENTIRE TRENCH. BRING FABRIC UP AND FASTEN TO THE STAKES, TYP.

SILT FENCE DETAIL
SCALE: NTS

NOTES

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 12" O/C AT TOP AND MID SECTION.
- ALL SILT FENCES SHALL RUN PARALLEL TO THE CONTOUR OF THE LAND.
- ALL SILT FENCING SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR AND/OR MUNICIPAL ENGINEER.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP ALONG THE SILT FENCE.
- THE MAXIMUM TRIBUTARY DRAINAGE AREA FOR THE OVER FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 L.F. OF FENCE.
- MIRAFI 100X OR APPROVED EQUAL.

LEGEND



1 EROSION CONTROL PLAN
C-2 SCALE: 1"=20'

NOTES:

- ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST "URBAN EROSION AND SEDIMENT CONTROL GUIDEBOOK" OF THE ORANGE COUNTY SOIL AND WATER CONSERVATION DISTRICT AS WELL AS THE LATEST NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ONCE ROUGH GRADING HAS BEEN COMPLETED, A TEMPORARY COVER CONSISTING OF RYE GRASS SHALL BE SEEDED AT A RATE OF 1/2 LB. PER 1,000 S.F. OF AREA.
- NO CUT OR FILL SLOPE SHALL EXCEED 2:1 UNLESS RETAINING WALLS ARE BEING INSTALLED. ALL DISTURBED AREA NOT BEING WORKED ON WITHIN 14 DAYS SHALL BE TEMPORARILY SEEDED WITH RYE GRASS AT A RATE OF 1/2 LB. PER 1,000 S.F.
- SILTATION FENCING SHALL BE USED TO PROTECT THE EXISTING DRAINAGE SWALE AND NEIGHBORING PROPERTIES.
- ANY SILT THAT LEAVES THE SITE DESPITE PRECAUTIONS TAKEN SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE AGENCIES HAVING JURISDICTION.
- FILL MATERIAL, IF NECESSARY, SHALL BE FREE OF ALL DECOMPOSABLE MATERIAL.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS GRADED, PLANTED AND TREATED TO FINISH IN ACCORDANCE WITH THE APPROVED PLANS.
- ALL TREE CLEARING MUST OCCUR BETWEEN OCTOBER 1 AND MARCH 31.
- NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

REFERENCES:

- VICINITY MAP TAKEN FROM ORANGE COUNTY GIS SERVICES, TOWN OF NEWBURGH, 2024.
- TOPOGRAPHIC INFORMATION TAKEN FROM NEW YORK STATE GIS, 2024

REVISION
DATE
08/16/2024
08/21/2024
07/03/2025
BY
1-2-3-4



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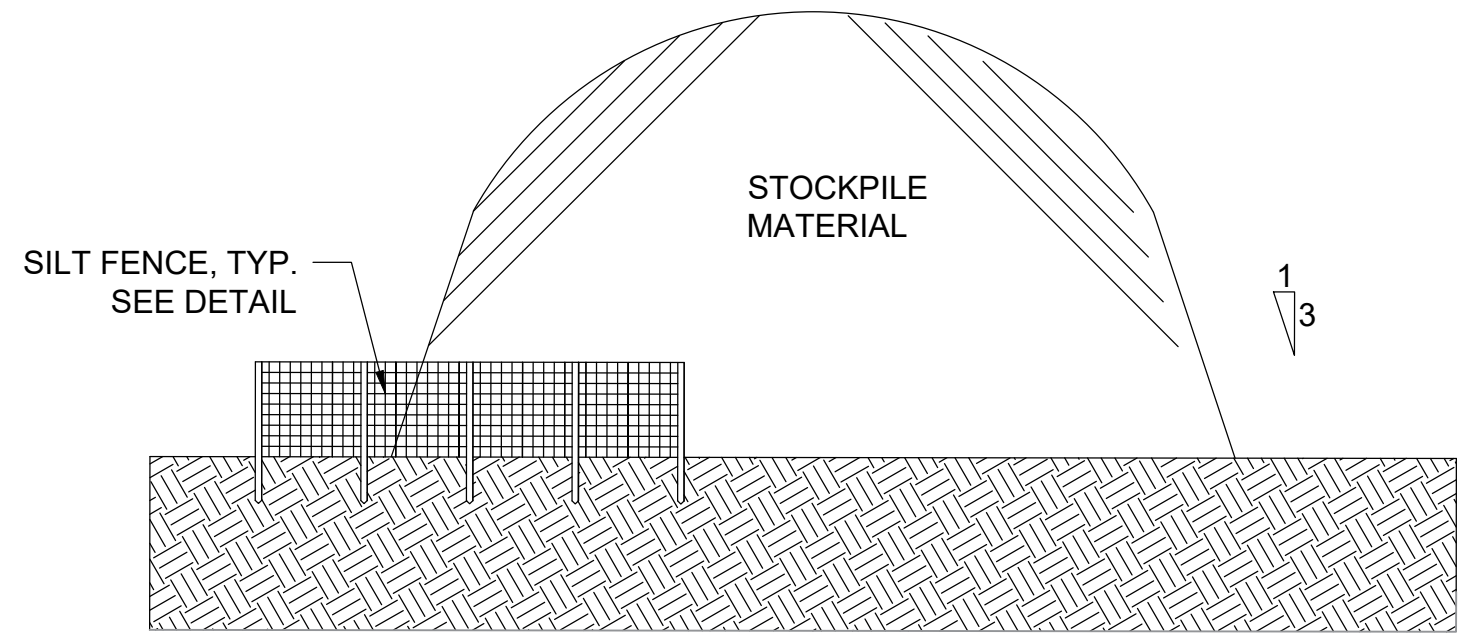
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EROSION CONTROL PLAN
SITE GRADING AND FILL PLAN
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NEWBURGH, NY 12550
BEN PAPALEO
468 RIVER RD
NEWBURGH, NY 12550

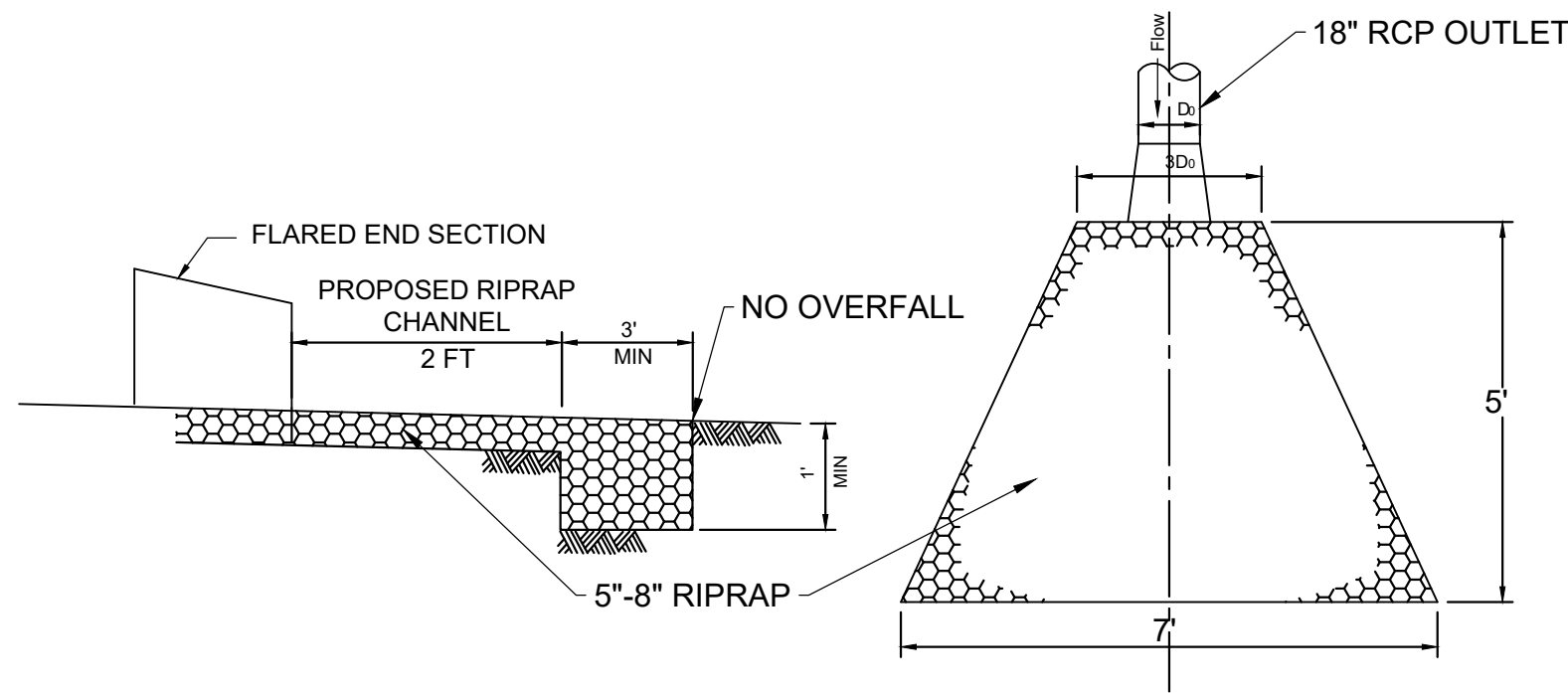
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SHEET No.
C-2
PAGE 2 OF 3



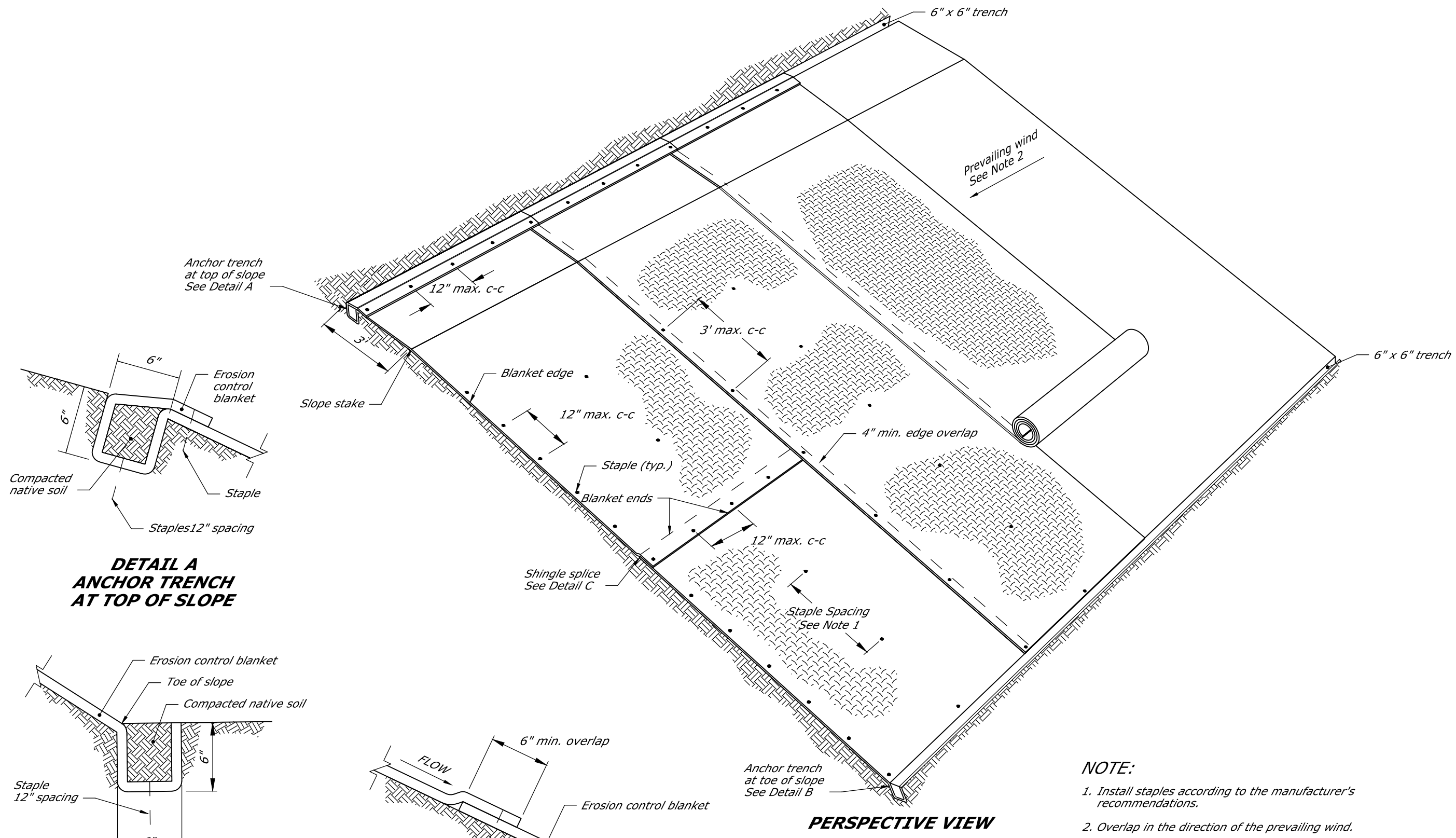
TYPICAL STOCKPILE DETAIL

SCALE: NTS



RIPRAP APRON CONDUIT OUTLET PROTECTION DETAIL

N.T.S



ROLLED EROSION CONTROL MATS FOR STEEP SLOPES

N.T.S

REVISION	CLIENT REVIEW
DATE	08/16/2024
NO	1



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C-3