



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME: HAMPTON INN & SUITES**  
**PROJECT NO.: 14-16**  
**PROJECT LOCATION: SECTION 95, BLOCK 1, LOT 45.12**  
**REVIEW DATE: 29 JANUARY 2015**  
**MEETING DATE: 5 FEBRUARY 2015**  
**REPRESENTATIVE: MASER CONSULTING**

1. Applicant's submittal has been revised to remove the freestanding restaurant facility formerly proposed on the site. Applicant is now requesting a 139 room, 5 story hotel. Variances for height and landscape buffer have been received.
2. Flow acceptance letter from the City of Newburgh is required.
3. Verification that proposed revised drainage pipes do not require NYSDEC permit for construction within 25 feet better banks of regulated stream.
4. Hydrant location should be reviewed by Code Compliance and/or jurisdictional Fire Department.
5. Sanitary sewer pump station is proposed to service the site. A design of the pump station and engineers report should be submitted for review. Four inch sanitary sewer is depicted. Applicants Representative is requested to evaluate that based on flows from the 139 room facility and associated internal uses.
6. A storm water management report has been submitted giving the design basis for the storm water management concept on the site. Onsite permeability testing and ground water evaluation is required to be performed to document the design basis utilizing infiltration techniques to meet Town of Newburgh and NYSDEC guidelines.
7. Each of the individual storm tech systems should give details for the inlet and outlet of the infiltration systems.

8. DI-32 Storm Tech System B has arrow in wrong direction.
9. Several catch basins have inverts lower than the tributary storm water management facilities. Applicant should evaluate providing these with sump type drains to allow catch basins to drain between storm events. SWPPP maintenance schedule should address these.
10. The architectural plans do not appear to address the bar patio area as depicted on the plans along the northern front of the building. Architectural plans appear to show retaining walls and stairs from this area. This should be addressed. Planning Board comments regarding the bar patio along the frontage should be received.
11. Water and sewer notes should be revised to most recent Town of Newburgh 2015 revisions including an additional note stating the following: *“The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.”*
12. The proposed dumpster enclosure incorporates an accessory structure for maintenance. The structure shows a water line, however, this is not depicted on the plans. Building permit for the accessory structure will be required.

Respectfully submitted,

**McGoey, Hauser & Edsall**  
**Consulting Engineers, D.P.C.**

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Patrick J. Hines  
Principal



Engineers  
Planners  
Surveyors  
Landscape Architects  
Environmental Scientists

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January 21, 2015

**VIA HAND DELIVERY**

John Ewasutyn, Planning Board Chairman  
Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550

Re: Hampton Inn & Suites  
Section 95, Block 1, Lot 45.12  
Town of Newburgh, Orange County, New York  
MC Project No. 12000031B

Dear Chairman Ewasutyn:

Below please find our responses to comments from comment letters received from McGoey, Hauser & Edsall Consulting Engineers D.P.C., dated July 10, 2014 and Creighton Manning Engineers dated July 14, 2014. The Comments have been repeated here for clarity.

McGoey, Hauser and Edsall

- Comment 1: The Applicant's Representatives have identified the need for a height variance for the proposed 137 room hotel which is proposed to be 5 stories.
- Response 1: The Zoning Board of Appeals granted the height variance (62'-9") for the proposed hotel (see attached Resolution). The hotel is now proposed to have 139 guest rooms.
- Comment 2: The Applicant's Representatives are requested to review Section 185-18C(4)(c) regarding requirements for landscape buffers along the Route 17K frontage. Additional variance is likely required.
- Response 2: The Zoning Board of Appeals granted a variance for the 35' Landscape Buffer (see attached Resolution).
- Comment 3: The project is located adjacent to a Class A stream tributary to the City of Newburgh's water supply through a diversion structure. Storm water management must take into consideration the discharge to the Class A stream. Typically projects within the water shed provide treatment for 110% of the water quality volume in order to provide treatment prior to discharge. Storm water management is not currently addressed on the plans and will be reviewed upon future submissions.



- Response 3: The submission includes a complete set of Preliminary Site Plans and a Stormwater Pollution Prevention Plan (SWPPP). The proposed stormwater design provides treatment in excess of 110% of the NYSDEC required water quality volume.
- Comment 4: Eighteen parking spaces are identified to be land banked. Trigger mechanism for construction of the land bank parking should be discussed.
- Response 4: Land banked parking is no longer proposed.
- Comment 5: A dumpster enclosure is provided to the rear of the property. The Applicant's Representatives are requested to evaluate access to the dumpster enclosure on the radius of the turn.
- Response 5: The location of the dumpster enclosure has been adjusted to provide better access for refuse pick up.
- Comment 6: Grading plans must consider grading along the NYS Thruway frontage as existing topography drops off in this area.
- Response 6: Refer to the Grading, Drainage and Utility Plan (Sheet 3) for proposed grading of this area.
- Comment 7: Two sanitary sewer pump stations are identified. Design of these pump stations and an engineering report identifying discharge to the common force main within Crossroads Court will be required. A grease trap will be required on the restaurant facility.
- Response 7: The restaurant and its respective utility connections are no longer proposed as part of the project. The proposed hotel sanitary sewer service is proposed to connect to the existing sanitary forcemain in Crossroads Court. A design will be provided in a subsequent submission.
- Comment 8: The Applicant's Representative have identified that the easement area containing Crossroad Court, the commercial private access road, has been excluded from the lot area and bulk calculations as it is a common access drive for each of the lots (4 lots). The resulting 5.25 acres utilized in the bulk table for lot area and lot coverage also will then pertain to accessory uses under Section 185-27 which subtracts the actual floor area of accessory restaurant, conference or banquet facilities shall be subtracted from the site area available for the motel or hotel use. Based on the 5 acres required for the hotel use, .24 acres or 10,454 square feet are available for the conference and restaurant use. It is requested the size of the conference area, as well as the square footage for the restaurant, be calculated based on the 5.24 acre usable area. If the entire parcel, including private road easement area, is used in bulk calculations, lot surface coverage is exceeded.



Response 8: All bulk table comparisons with respect to building coverage and lot surface coverage are based on the full lot area of 5.92 acres. Based on the modifications made to the project, these bulk requirements are met.

Creighton Manning

Comment 9: Site circulation and dumpster access appears adequate.

Response 9: Comment noted.

Comment 10: When detailed plans are provided, curb ramps should be provided along the pedestrian path between the hotel and the restaurant and to the Hilton. Similarly, curb ramps should be provided at the rear (east side) of the hotel to provide cart or roller bag access.

Response 10: The restaurant is no longer proposed for this application. Curb ramps have been provided at sidewalk connections to parking areas, at ADA parking and adjacent to the main hotel access point.

Comment 11: The hotel is estimated to generate 73 to 82 trips during the weekday AM and PM peak periods according to ITE's *Trip Generation, 9th Edition*. This includes use of the restaurant, as they are typically an accessory use (as it relates to trip generation) to the hotel. If the restaurant is developed as a standalone entity (as an Olive Garden for example) whose primary draw is from outside users, then an additional 64 trips could be expected during the PM peak hour.

Response 11: The restaurant is no longer proposed for this application, see attached Trip Generation Table No. 1 for 139 room hotel.

Comment 12: Traffic at the Route 17K/Crossroads Court intersection was last studied in 2010 as part of the Roadhouse Cafe application at the Orange County Choppers facility. At the time, traffic signal warrants were not expected to be met, although a signal design has already been completed. The applicant's engineer should provide an update or cursory review of the expected traffic from the project and advise on the status of the warrants.

Response 12: The Hampton Inn & Suites site is proposed to consist of 139 hotel rooms. Trip generation estimates for hotel were made based on data published by the Institute of Transportation Engineers (ITE) in their publication entitled Trip Generation, 9<sup>th</sup> Edition dated 2012. These trip generation estimates, which are summarized in Table No. 1 attached, indicate that the site is expected to generate approximately 73 total trips (43 entering/30 exiting) during the AM Peak Hour and 84 total trips (43 entering/41 exiting) during the PM Peak Hour. It should be noted that these



trip generation estimates account any ancillary restaurant/bar and/or meeting space proposed to be included within the hotel.

The traffic signal warrants were also reviewed for the intersection of NYS Route 17K and Crossroads Court as requested. The traffic volume information utilized for the warrant analysis were based on manual traffic volume data collected at the Crossroads Court intersection on June 10<sup>th</sup> and 11<sup>th</sup>, 2014 as well as ATR machine count data available from the New York State Department of Transportation for the NYS Route 17K corridor. The attached signal warrant analysis, as contained on Table No. 2, utilizes the anticipated Build Traffic Volumes after completion of the proposed hotel. Based on this analysis it is not expected that the intersection will meet warrants. It should be noted that the Hampton Inn & Suites site was previously proposed to consist of the Hotel as well as a separate restaurant use, which is no longer included as part of the proposal. Under this former proposal, with the additional traffic that would have been generated by the separate restaurant, the intersection may have met warrants for a traffic signal. Therefore, it is recommended that the intersection continue to be monitored for future signalization as potential future development along Crossroads Court occurs.

Very truly yours,

MASER CONSULTING P.A.

A handwritten signature in black ink, appearing to read 'Andrew B. Fetherston', written in a cursive style.

Andrew B. Fetherston, P.E.  
Principal Associate

ABF/jm  
Enclosures

**TABLE NO. 1**

**HOURLY TRIP GENERATION RATES (HTGR) AND ANTICIPATED  
SITE GENERATED TRAFFIC VOLUMES**

HAMPTON INN NEWBURGH, NEW YORK	ENTRY		EXIT	
	HTGR <sup>1</sup>	VOLUME	HTGR <sup>1</sup>	VOLUME
HOTEL (139 ROOMS)				
PEAK AM HOUR	0.31	43	0.22	30
PEAK PM HOUR	0.31	43	0.29	41

NOTES:

- 1) THE HOURLY TRIP GENERATION RATES (HTGR) ARE BASED ON DATA PUBLISHED BY THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) AS CONTAINED IN THE TRIP GENERATION HANDBOOK, 9TH EDITION, 2012. ITE LAND USE CODE - 310 - HOTEL.

**TABLE NO. 2**

**SIGNAL WARRANTS ANALYSIS**

(Based on National Manual of Uniform Traffic Control Devices)

**INTERSECTION DATA**  
 MAJOR STREET: NYS ROUTE 17K  
 MINOR STREET: CROSSROADS COURT/CITGO STATION  
 LOCATION: NEWBURGH, NEW YORK  
 DATE: 1/16/2015  
 VOLUME BASIS.....BUILD TRAFFIC VOLUMES  
 CONDITION ..... TYPICAL WEEKDAY

**CHARACTERISTICS**

<b>Number Of Lanes For Moving Traffic By Approach</b>	
Major Street (Excluding Auxiliary Lanes) =	1
Minor Street (Including Auxiliary Lanes) =	2
<b>Speed</b>	
85 % Speed >= 40 mph (Y or N)---->	Y
<b>Median</b>	
Raised median 4' or more in width on major street (Y or N)?---->	N
<b>Population</b>	
Community < 10,000 (Y or N)---->	N

TIME	VOLUMES			WARRANT 1 CONDITION A		WARRANT 1 CONDITION B		WARRANT 2		WARRANT MET?			
	Hour Begin	Major Street	Minor Street	Major Peds	Major Street	Minor Street	Major Street	Minor Street	Major Street	Minor Street	1A	1B	2
12:00 AM		0	0	0	350	140	525	70	800	80	NO	NO	NO
01:00 AM		0	0	0	350	140	525	70	800	80	NO	NO	NO
02:00 AM		0	0	0	350	140	525	70	800	80	NO	NO	NO
03:00 AM		0	0	0	350	140	525	70	800	80	NO	NO	NO
04:00 AM		0	0	0	350	140	525	70	800	80	NO	NO	NO
05:00 AM		502	25	0	350	140	525	70	800	80	NO	NO	NO
06:00 AM		843	42	0	350	140	525	70	800	80	NO	NO	NO
07:00 AM		1172	62	0	350	140	525	70	800	80	NO	NO	NO
08:00 AM		1353	37	0	350	140	525	70	800	80	NO	NO	NO
09:00 AM		1290	42	0	350	140	525	70	800	80	NO	NO	NO
10:00 AM		1329	40	0	350	140	525	70	800	80	NO	NO	NO
11:00 AM		1580	50	0	350	140	525	70	800	80	NO	NO	NO
12:00 PM		1680	69	0	350	140	525	70	800	80	NO	NO	NO
01:00 PM		1650	68	0	350	140	525	70	800	80	NO	NO	NO
02:00 PM		1698	69	0	350	140	525	70	800	80	NO	NO	NO
03:00 PM		1760	70	0	350	140	525	70	800	80	NO	YES	NO
04:00 PM		1832	78	0	350	140	525	70	800	80	NO	YES	NO
05:00 PM		1698	78	0	350	140	525	70	800	80	NO	YES	NO
06:00 PM		1353	82	0	350	140	525	70	800	80	NO	YES	YES
07:00 PM		1017	48	0	350	140	525	70	800	80	NO	NO	NO
08:00 PM		654	34	0	350	140	525	70	800	80	NO	NO	NO
09:00 PM		579	26	0	350	140	525	70	800	80	NO	NO	NO
10:00 PM		336	14	0	350	140	525	70	800	80	NO	NO	NO

NOTE : major peds = highest volume on major street crosswalk

TOTAL HOURS MEETING WARRANTS	0	4	1
TOTAL HOURS NEEDED TO SATISFY	8	8	4

MINIMUM VEHICULAR VOLUME	WARRANT 1A: NOT SATISFIED -- NO SIGNAL
INTERRUPTION OF CONTINUOUS TRAFFIC	WARRANT 1B: NOT SATISFIED -- NO SIGNAL
FOUR HOUR WARRANT	WARRANT 2: NOT SATISFIED -- NO SIGNAL



# TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550

November 21, 2014

RECEIVED

DEC 01 2014

MASER CONSULTING P.A.

Mr. Jason Morris, City Engineer  
City of Newburgh – City Hall  
83 Broadway  
Newburgh, NY 12550

RE: S \ CROSSROADS – CITY OF NEWBURGH INTERMUNICIPAL SEWER AGREEMENT  
(HAMPTON INN & SUITES)

Dear Mr. Morris:

Per the requirements of the above referenced Intermunicipal Sewer Agreement, I am writing to request approval for a new connection to the Town's sanitary sewer collection system for a proposed Hampton Inn & Suites located at the intersection of Route 17K and Crossroads Court. The proposed project has an estimated sewage flow of up to 15,945 gallons per day. A complete description of the project is contained in the attached letter from Maser Consulting dated 19 November 2014.

If you have any questions or comments, please feel free to contact me. I look forward to your reply.

Respectfully,

James W. Osborne  
Town Engineer

JWO/id

Attachment

cc: G. Piaquadio, Deputy Supervisor  
M. Taylor, Attorney  
J. Platt, DPW Comm.  
J. Ewasutyn, P.B. Chairman  
P. Hines, MH&E  
A. Fetherston, Maser Consult.



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 2601 Meacham Boulevard  
 Fort Worth, TX 76193

Aeronautical Study No. 2014-  
 2014-AEA-6726-OE

Issued Date: 12/18/2014

RECEIVED

DEC 18 2014

Maser Consulting  
 Martin Milano  
 1607 Route 300  
 Suite 101  
 Newburgh, NY 12550

MASER CONSULTING P.A.

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building Hampton Inn  
 Location: Newburgh, NY  
 Latitude: 41-30-18.61N NAD 83  
 Longitude: 74-04-36.28W  
 Heights: 357 feet site elevation (SE)  
 63 feet above ground level (AGL)  
 420 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/18/2016 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (718) 553-4542. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2014-AEA-6726-OE.

**Signature Control No: 232427114-237999084**  
Katie Venticinque  
Specialist

( DNE )

DEC 30 2014

Section 95, Block 1, Lot 45.12

TOWN OF NEWBURGH: COUNTY OF ORANGE  
ZONING BOARD OF APPEALS

-----X

*In the Matter of the Application<sup>1</sup> of*

MARTIN MILANO

**DECISION**

*For area variances as follows:*

- *Grant of a variance allowing a building height of 62 feet, 9 inches where 50 feet is the maximum allowed;*
- *Grant of a variance allowing a total sign area of 795.58 square feet where 449.50 is the maximum allowed;*
- *Grant of a variance from the 35 foot setback requirement from a State Highway.*

-----X

**Introduction**

Martin Milano is the owner of certain vacant commercial real property located on 1 Crossroads Court. The applicant has made application to the planning board to construct a 5-story, 84,700 square foot Hampton Inn & Suites Hotel<sup>2</sup>.

The applicant's proposal requires several variances as follows: (1) Grant

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<sup>1</sup> This application was revised during the course of the public hearing before the Board. Originally, four (4) variances were requested. However, one variance request - seeking a variance allowing lot surface coverage of 63% where 60% is the maximum coverage allowed - was withdrawn.

<sup>2</sup> The original application included a request to construct a 6,500 sq.ft. restaurant. This portion of the application has been withdrawn which resulted in a decrease of the lot surface coverage and the elimination of the variance request referenced in footnote 1 above.

of a variance allowing a building height of 62 feet, 9 inches where 50 feet is the maximum allowed height; (2) Grant of a variance allowing a total sign area of 795.58 square feet where 449.50 square feet is the maximum allowed and (3) Grant of a variance from the code provisions requiring a minimum landscape buffer area on properties fronting on NYS Route 17K.<sup>3</sup>

The property is located at 1 Crossroads Court, is in the IB Zoning District and is identified on the Town of Newburgh tax map as Section 95, Block 1, Lot 45.12.

A public hearing was held on October 23, 2014, notice of which was published in *The Mid-Hudson Times* and *The Sentinel*. The hearing was continued until November 25, 2014 at which time it was closed.

#### **Law**

Section 185-11 of the Code of Ordinances of the Town of Newburgh [Zoning], entitled "Utilization of Bulk Table," requires compliance with the bulk regulations set forth in the bulk and use schedules set forth within the zoning ordinance. These schedules permit, for property in the IB Zoning District, a maximum building height of 50 feet.

Section 185-14 of the Code is entitled "Sign regulations." Subdivision B(1)(c) limits the total area of business signs to ½ of the total length of street frontage of the lot in linear feet.

Section 185-18 of the Code is entitled "Exceptions to district regulations." Subdivision C(4)(c) provides that for all new development projects, the first 35 feet, and in certain circumstances the first 45 feet, of the front yards of certain properties must be landscaped.

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<sup>3</sup> The Code requires a minimum of a 35' buffer area in certain circumstances and a minimum of a 45' buffer area in other circumstances.

## **Background**

After receiving all the materials presented by the applicant and hearing the testimony of the Project Attorney Charles Bazydlo; the Project Architect Christine Raymond of Kaczmar Architects, Inc.; Project Engineers Just Dates and Andrew Featherston of Maser Consulting and the property Martin Milano, at the public hearing held before the Zoning Board of Appeals on October 23, 2014 and continued until November 25, 2014, the Board makes the following findings of fact:

1. The applicant is the owner of 5.9± acre lots (tax parcel 95-1-45.12) located at 1 Crossroads Court.
2. The applicant proposes to construct a 84,700 square foot hotel with related site improvements on the premises.
3. The applicant's proposal is set forth on a series of plans prepared by Maser Consulting, P.A. dated July 8, 2014, last revised November 14, 2014; architectural drawings prepared by Kaczmar Architects Incorporated dated August 28, 2014 and a sign detail dated November 11, 2014 prepared by Kaczmar Architects Incorporated. Those plans are hereby incorporated into this decision and a set shall remain in the zoning board's file in this matter.
4. The required, existing and proposed dimensions (in feet) and the extent of the variances requested are as follows:



5. Many members of the public were heard during the hearing. A myriad of concerns were raised by the public during the hearing. Specifically, the public was concerned about stormwater management and insuring that the required environmental review process was fully and completely implemented.
6. The applicant has been referred to the Zoning Board of Appeals from the Town of Newburgh Planning Board pursuant to correspondence from their counsel dated September 19, 2014.

After hearing the testimony at the public hearing and considering the materials received by the Board and after viewing the subject site, the Board decides as follows:

**SEQRA**

The variance application constitutes an unlisted action under the State Environmental Quality Review Act, hereinafter "SEQRA." Pursuant to 6 NYCRR 617.6(b)(4) the zoning board conducted an uncoordinated review of this application and on November 25, 2014 issued a negative declaration thereby determining that the issuance of the requested variances will have no adverse impact upon the environment.

**GML 239 Referral**

This application has been referred to the Orange County Planning Department for review and report. The Planning Department issued its report on October 2, 2014. It recommended *disapproval* of the variance request relative to lot surface coverage. As hereinabove stated, this variance request has been withdrawn and is therefore no longer part of this application. It further found that the

variance requests for building height and for relief from the landscape buffer requirements were for "local determination" as neither had any inter-municipal or county-wide impacts. The County did not comment on the sign variance request.

### **Findings**

In reviewing the facts presented for the requested area variances, the Board considered the five standards for determining whether the applicant has sustained its burden of proof as required by Town Law Section 267-b (3). Each factor has been considered relevant to the decision of the board of appeals, but no single one is viewed as precluding the granting of the variances.

#### ***(1) Undesirable Change—Detriment to Nearby Properties***

The property is located in the Town of Newburgh's IB Zoning District. The Motel use proposed is a use that is permitted in the IB zone.

The site of the proposed hotel is adjacent to an existing hotel (Hilton Gardens) and several other compatible commercial buildings.

The applicant and his representatives testified at the hearing that the proposed hotel would be in harmony with this existing, mature, commercial neighborhood and would not in any way result in any undesirable changes to the neighborhood nor cause any detriment to any nearby properties.

While several people spoke during the hearing, they submitted no contrary evidence or testimony.

Based upon the foregoing, the Board determines that no undesirable change in the character of the neighborhood or detriment to the neighbors in that neighborhood will result from the construction of the proposed hotel.

***(2) Need for Variance***

The applicant offered testimony to the effect that the height of the building essentially met the requirements of the Town Code and that the exceedance regarding the height of the building was only required to screen their mechanicals from view as required by the Newburgh Town Code. They further offered testimony that additional signage was required because of the properties "unique" location next to the NYS Thruway and that strict adherence to the landscape buffer requirement would cause a significant reduction in the parking lot that would leave the project with less than the required number of parking spaces.

While no analysis was provided as to whether or not a smaller hotel with a smaller sign would permit the applicant to realize his investment based expectations, the Board does find, on balance, that the benefit sought to be achieved by the applicant cannot be achieved by any other method, feasible for the applicant to pursue other than the issuance of the requested variances

***(3) Substantial Nature of Variances Requested***

The building height variance request is moderately substantial and the signage and landscape buffer variance requests are extremely substantial from a purely mathematical percentage analysis.

However, the substantiality of a variance is not simply analyzed by a comparison of the percentage deviation from the requirements of the zoning code. The overall affect or impact of the requested variances must also be examined.

In connection with the height variance request, the Board notes that the proposed hotel will be constructed at an elevation that is lower than the elevation of Route 17K thereby reducing the overall visual impact of the height variance.

The impact of the landscape buffer variance is likewise minimized by the fact that the property improvements are some 75-95 feet from the paved portion of NYS Route 17K while the landscape buffer requirement is only 35 to 45 feet. The applicant avers that the overall impact of the signage variance request is also minimal as it is needed "to inform drivers along the NYS Thruway of the business."

Analyzing this factor based upon the above, we believe, under the circumstances presented here, that the overall impact of granting the variance will be minimal.

#### ***(4) Adverse Physical & Environmental Effects***

Much testimony was given alleging that issuance of the lot surface variances would result in any adverse physical and/or environmental effects. This variance request was withdrawn, however and these comments are no longer applicable. There was no testimony that the other remaining variances requested would cause any adverse physical or environmental effects. The applicant testified that no such impacts would occur.

Based upon the information before us, therefore, the Board cannot conclude that any adverse physical or environmental effects will result from the construction of the proposed hotel.

#### ***(5) Self-Created Difficulty***

The need for these variances is clearly self-created in the sense that the applicant purchased this property charged with the knowledge of the existing Zoning Code and while aware of the need to obtain a variance or variances in order to build the proposed hotel on the property.

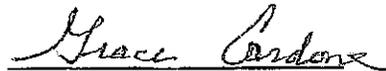
## **Decision**

In employing the balancing tests set forth in Town Law Section 267-b (3), the Board hereby determines that the applicant has satisfied the requisites of Section 267-b and grants the variances as requested upon the following conditions:

1. The variances hereby granted are granted for the purpose of authorizing construction of what is shown on the plans or described within the application materials only. No construction other than as shown or described (architectural refinements aside) is authorized by this decision.
2. This approval is not issued in a vacuum but is rather one of two independent yet interconnected discretionary approvals (the other being within the jurisdiction of the Town of Newburgh Planning Board). As such, this grant of variance is conditioned upon approval of the application now pending before the planning board. This approval of the ZBA is intended to do no more than vary the specified strict limitation provisions of the Code identified; it is not intended to authorize construction of a particular building nor approve the footprint, size, volume or style thereof. The planning board remains possessed of all of its power and authority to review, limit, request modifications to, and to ultimately approve (absolutely or conditionally) any application in reference to this project as may come before it. Should the planning board require changes in the size, location or configuration from what is shown on the plans before the ZBA that require greater or different variances, the applicant must return to the ZBA for further review and approval.

3. This approval is further conditioned upon the issuance of any and all approvals that may be required from the Federal Aviation Administration ("FAA") relative to requirements that may be imposed given the proximity of the project to Stewart Airport.
  
4. Section 185-55 [Procedure; construal of provisions; conflict with state law] of the Code of Ordinances of the Town of Newburgh provides, in subdivision "D," that this grant of variance shall become null and void at the expiration of six months from issuance, unless extended by this board for one additional six-month period. As noted above, this application is not decided in a vacuum but is rather tied to a specific application for approval pending before the Town of Newburgh Planning Board and this approval is conditioned upon the applicant diligently pursuing his application before that board. Provided that the applicant shall report to this board monthly on the progress of the application pending before the planning board, and provided that such reports demonstrate a diligent pursual of that application, the time period within which the planning board application is processed shall not be included within the initial six-month limitation of Section 185-55 D.

Dated: November 25, 2014



*Grace Cardone, Chair  
Town of Newburgh ZBA*

The Board elected to vote on each variance request separately. The results of the votes are set forth below.

*By roll call a motion to grant the requested height variance was voted as follows:*

**AYES:** Chair Grace Cardone  
Member John McKelvey  
Member James Manley  
Member Michael Maher  
Member John Masten  
Member Richard Levin

**RECUSED:** Member Darrin Scalzo

**ABSENT:** None

*By roll call a motion to grant the requested landscape buffer variance was voted as follows:*

**AYES:** Chair Grace Cardone  
Member John McKelvey  
Member James Manley  
Member Michael Maher  
Member John Masten  
Member Richard Levin

**RECUSED:** Member Darrin Scalzo

**ABSENT:** None

*By roll call a motion to grant the requested sign variance was voted as follows:*

**AYES:** Chair Grace Cardone  
Member John McKelvey  
Member Michael Maher  
Member John Masten  
Member Richard Levin

**NOES:** Member James Manley

**RECUSED:** Member Darrin Scalzo

**ABSENT:** None

STATE OF NEW YORK )  
 )ss:  
COUNTY OF ORANGE )

I, BETTY GENNARELLI, Secretary to the Zoning Board of Appeals of the Town of Newburgh, do hereby certify that the foregoing is a true and exact copy of a Decision rendered by the Zoning Board at a meeting of said Board held on Nov 25, 2014.

  
BETTY GENNARELLI, SECRETARY

TOWN OF NEWBURGH ZONING BOARD OF APPEALS

I, ANDREW J. ZARUTSKIE, Clerk of the Town of Newburgh, do hereby certify that the foregoing Decision was filed in the Office of the Town Clerk on DEC 30 2014.

  
ANDREW J. ZARUTSKIE, CLERK

TOWN OF NEWBURGH



Engineers  
Planners  
Surveyors  
Landscape Architects  
Environmental Scientists

1607 Route 300, Suite 101  
Newburgh, NY 12550  
T: 845.564.4495  
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[www.maserconsulting.com](http://www.maserconsulting.com)

**NARRATIVE SUMMARY**  
**JANUARY 21, 2015**  
**HAMPTON INN & SUITES**  
**SITE PLAN**  
**TAX LOT 95-1-45.12**  
**TOWN OF NEWBURGH, ORANGE COUNTY**  
**PB#2014-16**  
**MC PROJECT NO. 12000031B**

The existing parcel is substantially undeveloped and approximately 5.9 acres in size. The parcel includes the existing Crossroads Court roadway. The parcel has frontage on N.Y.S. Route 17K to the north and Crossroads Court to the west. The eastern boundary abuts the N.Y.S. Thruway. Existing businesses adjacent to the site are Orange County Choppers and the Hilton Garden Inn. The site is located within the Town's IB (Interchange Business) zoning district which permits, subject to site plan review by the planning board, Restaurants and Hotels.

The applicant proposes the construction of a five (5)-story, 139 room, 86,150 square foot (includes  $\pm$  2,563 square feet of meeting/board rooms and bar area), Hampton Inn & Suites Hotel with an indoor pool, outdoor amenity space, associated parking, subsurface stormwater management areas and other pertinent site improvements. We have provided a total of 197 parking spaces which includes 8 handicapped spaces which meets the zoning requirement.

The site is within the Town's Consolidated Water District and Crossroad Sewer District. The project proposes connection to the municipal systems for the new facility which are located in Crossroads Court. On-site stormwater facilities are proposed to mitigate site run-off from the development, utilizing subsurface mitigation as necessary prior to discharging from the developed site; all in accordance with Town and State regulations.

The proposed project meets the IB zoning bulk requirements with the exception of the maximum allowable building height. A variance was received from the maximum allowable building height by the Zoning Board of Appeals on November 25, 2014. The zoning permits a maximum building height of 50 feet, and the maximum height for the proposed hotel structure at the building sign panel cornice is 62'-9", while the majority of the building parapet is at 54 feet.

The signage for the Hampton Inn & Suites hotel is proposed as two (2) signs on the building; one on the eastern building façade and the other on the western building façade. Each of these signs are 218.19 square feet in size. A pylon sign is proposed on the eastern side of the site along the NYS Thruway. This pylon sign is proposed at a height of 40' and 359.20 square feet in size. Total sign area for the site is proposed at 795.58 square feet. The existing frontage on Route 17K and Crossroads Court totals 899 linear feet, allowing a total of 449.50 square feet of signage for the site. Based on the proposed Hampton Inn & Suites sign package, a variance of 346.08 square feet was received from the Zoning Board of Appeals on November 25, 2014.



Lastly, the applicant required a variance from the required 35 foot setback from Route 17K for landscape improvements. This too was received on November 25, 2014 from the Zoning Board of Appeals.

At this time the applicant is seeking to be put on the February 5<sup>th</sup> Planning Board agenda to review the Site Plans and Architectural Plans with the Board.

JED/jm

\\NBCAD\Projects\2012\1200031B-Hampton\_Inn\Correspondence\OUT\150121JED\_Narrative HIS.docx

## ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

**DATE:** January 19, 2015

**NAME OF PROJECT:** Hampton Inn & Suites, Newburgh, NY

**The applicant is to submit in writing the following items prior to signing of the site plans.**

**EXTERIOR FINISH (skin of the building):**

Type (steel, wood, block, split block, etc.)

Cast stone masonry, brick, EIFS

**COLOR OF THE EXTERIOR OF BUILDING:**

Multiple colors including beige, red brick and white

**ACCENT TRIM:** Horizontal bands at 2nd & 5th floors, trim at windows and

**Location:** cornices at top of building

**Color:** White

**Type (material):** EIFS (Exterior Insulation Finishing System)

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

Roof top equipment is screened by the tall parapets and cornices

**ROOF:**

Type (gabled, flat, etc.): Flat

Material (shingles, metal, tar & sand, etc.): Single Ply Membrane

Color: White

**WINDOWS/SHUTTERS:**

Color (also trim if different): White  
Type: Aluminum

**DOORS:**

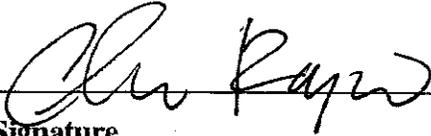
Color: White and color to match masonry at first floor  
Type (if different than standard door entrée): \_\_\_\_\_

**SIGN:**

Color: Red  
Material: Aluminum and Acrylic  
Square footage of signage of site: 795.58 SF  
(approved by ZBA  
on 11.25.14)

Christine Raymond, Architect / Kaczmar architects incorporated

**Please print name and title (owner, agent, builder, superintendent of job, etc.)**

  
\_\_\_\_\_  
Signature



- T.O. SIGN PANEL 62' - 9"
- T.O. CORNICES 58' - 5"
- T.O. PARAPET 54' - 0"
- T.O. ROOF DECK 50' - 0"
- FIFTH FLOOR 40' - 4"
- FOURTH FLOOR 30' - 8"
- THIRD FLOOR 21' - 0"
- SECOND FLOOR 11' - 4"
- GROUND FLOOR 0' - 0"

 WEST ELEVATION  
1" = 20'-0"

 **Kaczmar**  
architects incorporated  
cleveland ohio  
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Cleveland, OH 44113  
P: 216.687.1555 F: 216.687.1558



HAMPTON INN & SUITES  
1 CROSS ROADS CT. NEWBURGH, NY

Date	01/19/15
Scale	1" = 20'-0"
Sheet	201




**SOUTH ELEVATION**  
 1" = 20'-0"




**NORTH ELEVATION**  
 1" = 20'-0"



 EAST ELEVATION  
1" = 20'-0"



**PARTIAL ELEVATION**  
1/8" = 1'-0"



 **SOUTHWEST PERSPECTIVE**

 **Kaczmar**  
architects incorporated  
cleveland • ohio  
1468 West 9th Street #400  
Cleveland, OH 44113  
P:216.687.1555 F:216.687.1558

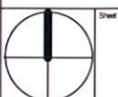


## HAMPTON INN & SUITES

1 CROSS ROADS CT.  
NEWBURGH, NY

Date: 01/19/15

Scale:



Sheet  
205




**PERSPECTIVE LOOKING SOUTH EAST**


**Kaczmar**  
 architects incorporated  
 cleveland ohio  
 1468 West 9th Street #400  
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**HAMPTON INN & SUITES**

1 CROSS ROADS CT.  
 NEWBURGH, NY

Date	01/19/15
Scale	
	Sheet
	206



 NORTHWEST PERSPECTIVE

 **Kaczmar**  
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Cleveland, OH 44113  
P: 216.687.1555 F: 216.687.1558



## HAMPTON INN & SUITES

1 CROSS ROADS CT.  
NEWBURGH, NY

Date  
01/19/15

Scale



Sheet  
207



# HAMPTON INN & SUITES

1 CROSS ROADS CT.  
NEWBURGH, NEW YORK

PLANNING BOARD SUBMITTAL 01.19.15

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## DRAWING INDEX

- A-101 OVERALL GROUND FLOOR PLAN
- A-102 SECOND FLOOR PLAN
- A-103 THIRD FLOOR PLAN
- A-104 FOURTH FLOOR PLAN
- A-105 FIFTH FLOOR PLAN
- A-201 EXTERIOR ELEVATIONS - EAST & WEST
- A-202 EXTERIOR ELEVATIONS - NORTH & SOUTH

**Prepared for:**

**OWNER:**  
MARTIN MILANO  
Hampton Inn & Suites, P.O. Box 10804  
Newburgh, NY 12552

**Prepared by:**

**ARCHITECT:**  
Kaczmar architectural group  
1468 W. 9th St. Suite 400  
Cleveland, OH 44113  
p. 216.687.1555 fax: 216.687.1559

**CIVIL ENGINEER:**  
Maser Consulting P.A.  
1607 Route 900 Suite 101  
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p. 845.564.4495 ext: 3804

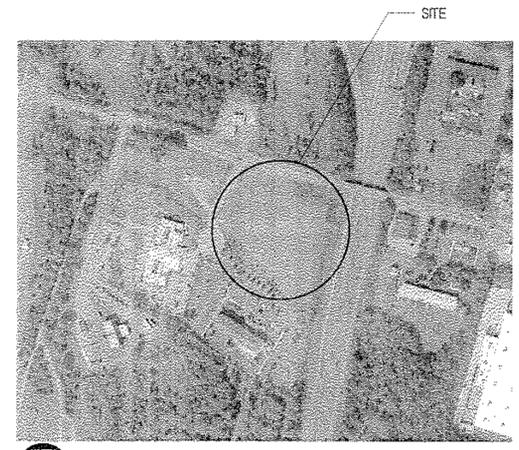
**STRUCTURAL ENGINEER:**  
Ebersole Ltd.  
10275 Brecksville Road  
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1274 Hunt Road, P.O. Box 347  
Aurida, NY 14710  
p. 716.484.9191 fax: 716.763.8040



## LOCATION PLAN



## BUILDING INFORMATION

**BUILDING ADDRESS:** 1 CROSS ROADS CT.  
**BUILDING HEIGHT:** FIVE (5) STORES, 62'-2" TO TOP OF PARAPET  
**BUILDINGS AREA:** 86,150 GROSS SQUARE FEET  
**CONSTRUCTION TYPE:** IIB NON COMBUSTIBLE, PROTECTED  
**IBC HEIGHT LIMITATION:** 11 STORES, 160- FEET PER TABLE 503  
**FIRE PROTECTION:** FULL SPRINKLER SYSTEM PROVIDED  
**TOTAL NUMBER OF GUESTROOMS:** 139 GUESTROOMS  
**TOTAL NUMBER OF GUESTROOMS WITH MOBILITY FEATURES:** 7 GUESTROOMS  
**WITH ROLL-IN SHOWERS:** 2 GUESTROOMS  
**WITHOUT ROLL-IN SHOWERS:** 5 GUESTROOMS  
**TOTAL NUMBER OF GUESTROOMS WITH COMMUNICATION FEATURES:** 12 GUESTROOMS  
**WITH BOTH MOBILITY & COMMUNICATION FEATURES:** 1 GUESTROOM

GUESTROOM MATRIX BY LEVEL									
	KINGS	DOUBLE QUEEN	KING ADA	DOUBLE QUEEN ADA	KING SOFA	KING SOFA ADA	KING STUDIO	KING STUDIO ADA	TOTAL KEYS
GROUND FLOOR	0	2	0	0	0	0	7	1	10
SECOND FLOOR	4	15	2	1	0	0	5	0	30
THIRD FLOOR	4	18	2	1	0	0	5	0	33
FOURTH FLOOR	4	19	0	0	2	0	5	0	33
FIFTH FLOOR	4	19	0	0	2	0	5	0	33
Grand total:	139	73	4	2	4	0	30	1	

GUESTROOM MATRIX TOTALS		
TYPE	OVERALL	%
DOUBLE QUEEN	73	52.17%
DOUBLE QUEEN ADA	2	1.45%
KING	16	11.59%
KING ADA	4	2.90%
KING SOFA	4	2.90%
KING STUDIO	36	26.28%
KING STUDIO ADA	1	0.72%

BUILDING AREA	
LEVEL	AREA
GROUND FLOOR	121,400 SF
SECOND FLOOR	15,420 SF
THIRD FLOOR	16,450 SF
FOURTH FLOOR	16,440 SF
FIFTH FLOOR	16,440 SF
<b>TOTAL AREA:</b>	<b>86,150 SF</b>

PLANNING BOARD SUBMITTAL 01.19.15

HAMPTON INN & SUITES - NEWBURGH



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 1488 West 9th Street, Suite 400, Cleveland, OH 44113  
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PLANNING BOARD SUBMITTAL 01.19.15

ISSUE	DATE

PROJECT:  
  
**HAMPTON INN & SUITES**

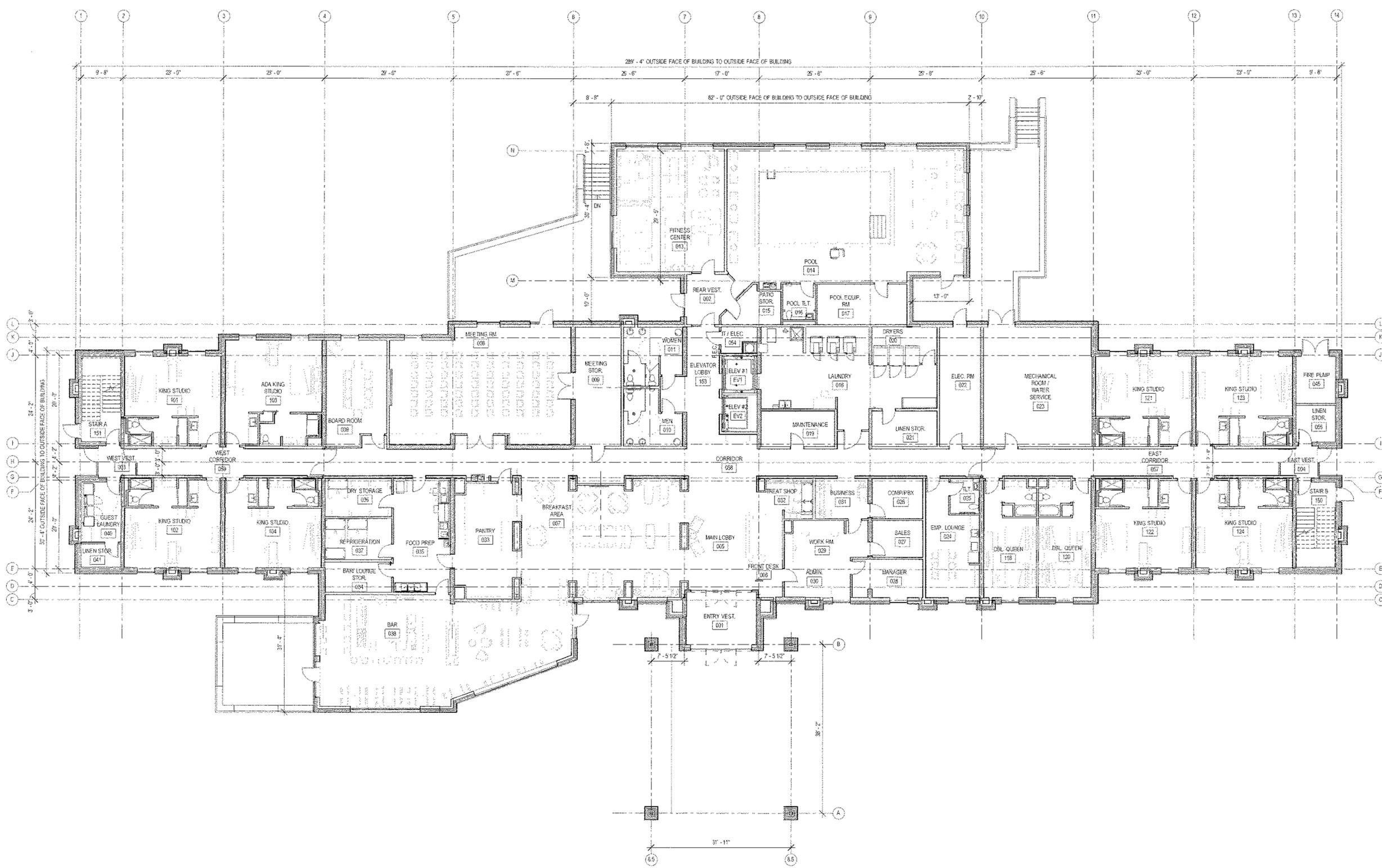
1 CROSS ROADS CT.  
 NEWBURGH, NY

CLIENT:  
 Martin Milano  
 Hampton Inn & Suites, P.O. Box 10804  
 Newburgh, NY 12552

Project Number	Author	Checker

**OVERALL GROUND FLOOR PLAN**

Scale: 3/32" = 1'-0"  
 Date: 01/19/15  
 Sheet: A-101



**OVERALL GROUND FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"



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PLANNING BOARD SUBMITTAL 01.19.15

ISSUE DATE

PROJECT:  
  
 HAMPTON INN & SUITES

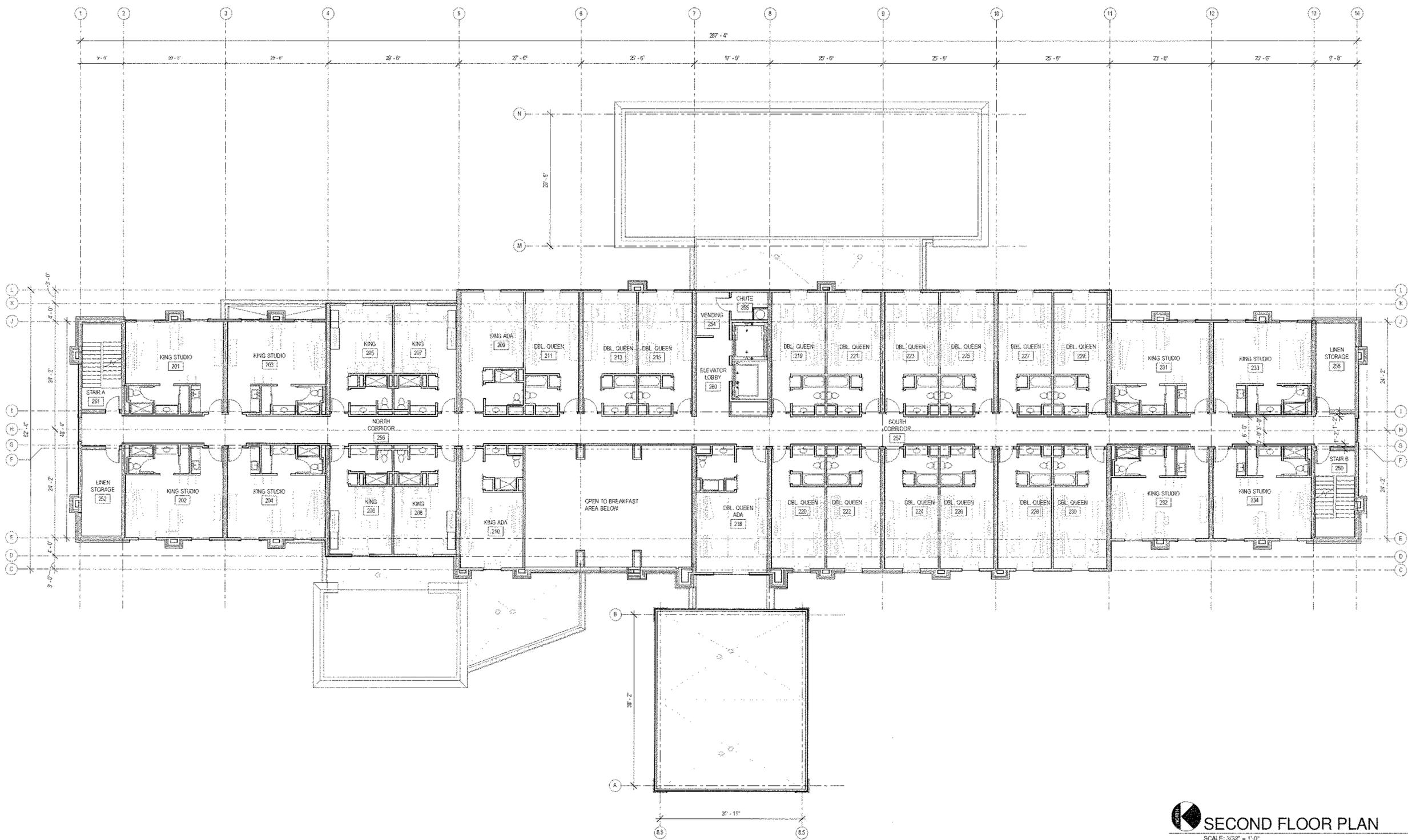
1 CROSS ROADS CT.  
 NEWBURGH, NY

CLIENT:  
 Martin Milano  
 Hampton Inn & Suites, P.O. Box 10804  
 Newburgh, NY 12552

Project Number Author Checker

**SECOND FLOOR PLAN**

Scale: 3/32" = 1'-0"  
 Date: 01/19/15  
 Sheet: A-102



**SECOND FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"



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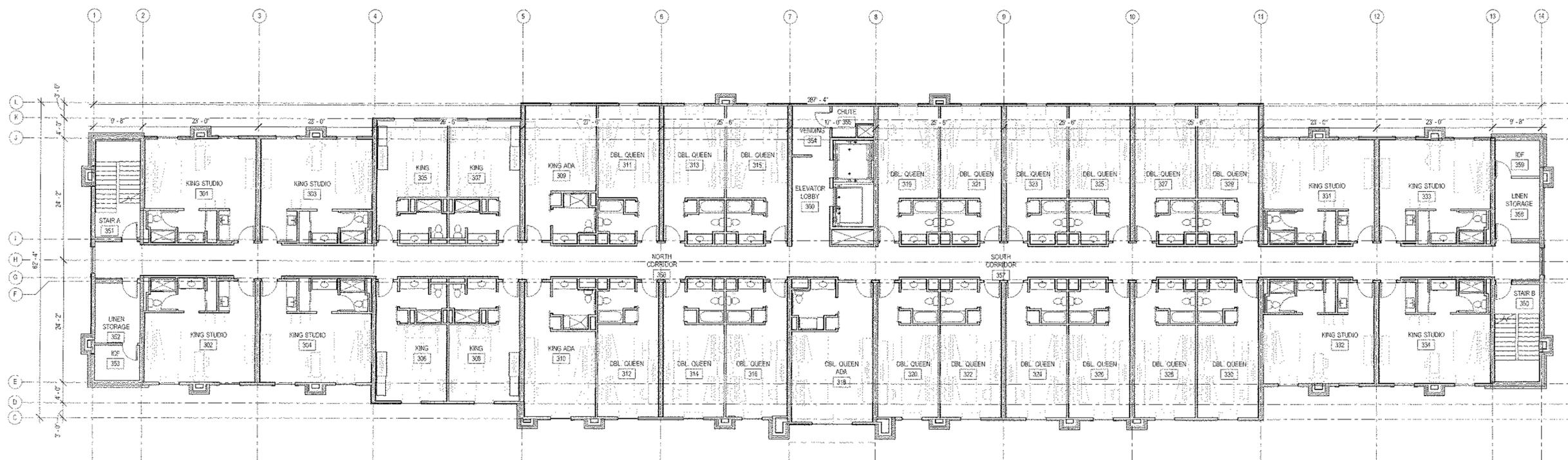
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**THIRD FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

PLANNING BOARD SUBMITTAL 01.19.15

ISSUE	DATE



**HAMPTON INN & SUITES**

1 CROSS ROADS CT.  
 NEWBURGH, NY

**CLIENT:**  
 Martin Milano  
 Hampton Inn & Suites, P.O. Box 10804  
 Newburgh, NY 12552

Project Number	Author	Checker

**THIRD FLOOR PLAN**

Scale	3/32" = 1'-0"
Date	01/19/15
Sheet	A-103





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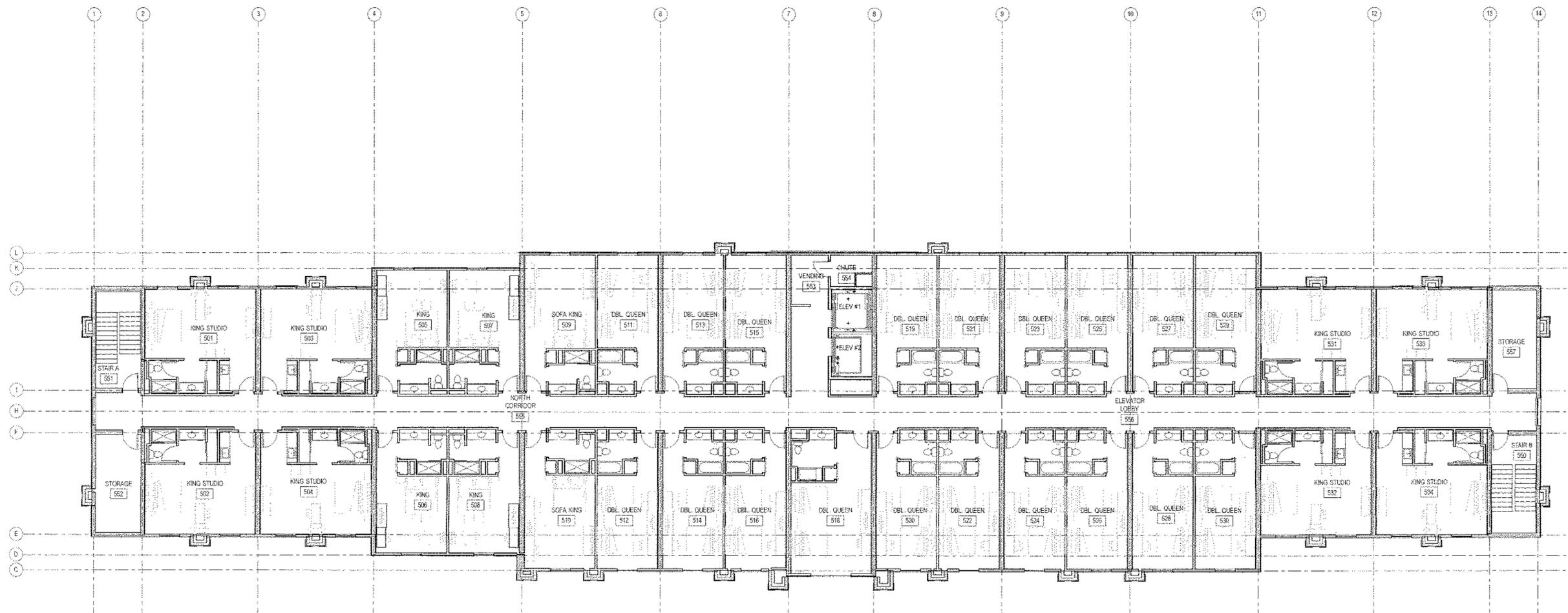
**Project Team:**

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p. 406.542.6565 fax: 406.542.2848



**FIFTH FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT: *Hampton Inn & Suites*

**HAMPTON INN & SUITES**

1 CROSS ROADS CT.  
NEWBURGH, NY

CLIENT:  
Martin Milano  
Hampton Inn & Suites, P.O. Box 10804  
Newburgh, NY 12552

Drawn By: Project Number	Author	Checked By: Checker
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**FIFTH FLOOR PLAN**

Scale:  
3/32" = 1'-0"  
Date:  
01/19/15

A-105



**Kaczmar**  
architects incorporated  
c.n.b.

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406.542.2846

PLANNING BOARD SUBMITTAL 01.19.15

ISSUE DATE

PROJECT:

*Hampton Inn & Suites*  
**HAMPTON INN & SUITES**

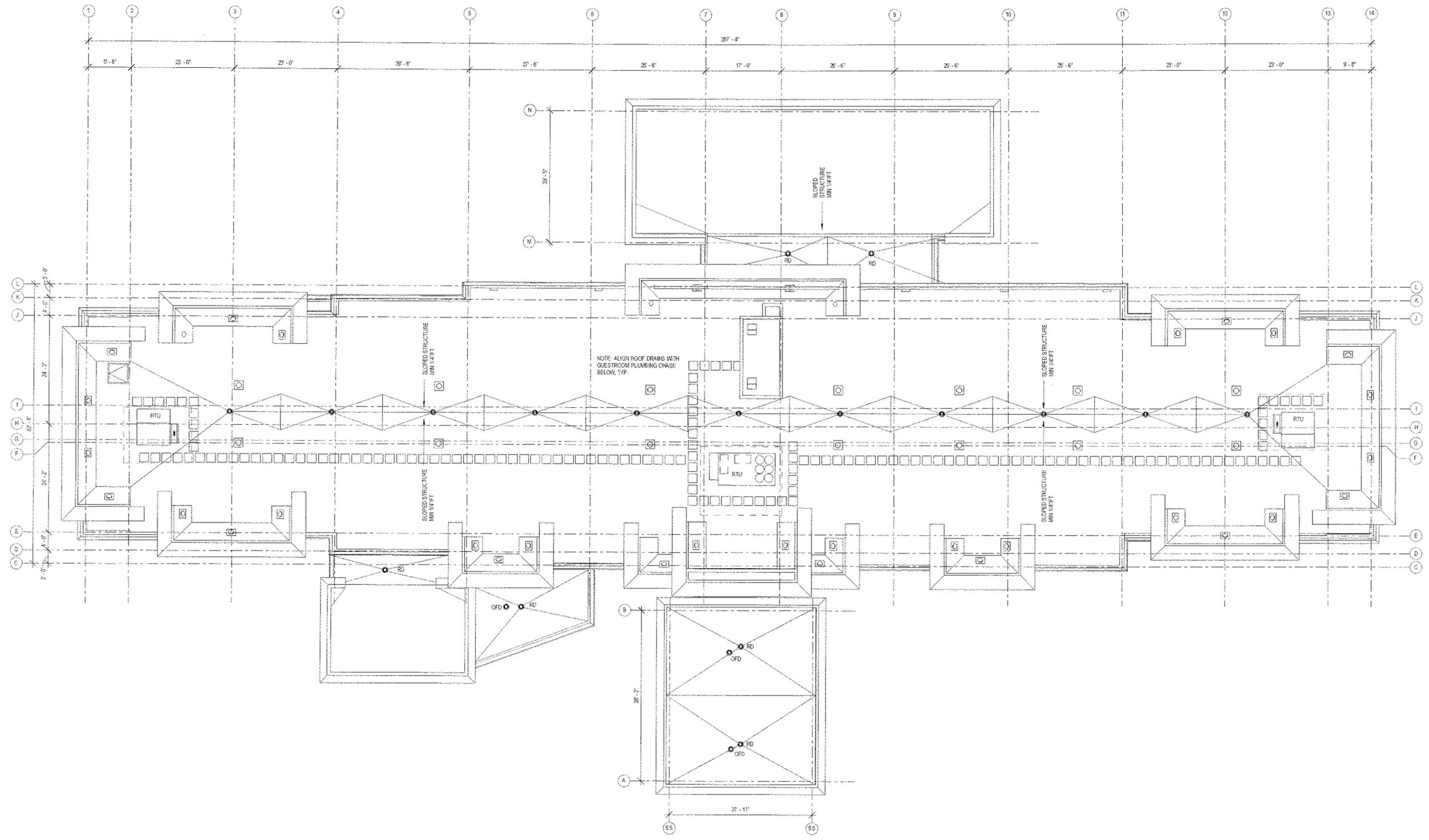
1 CROSS ROADS CT.  
NEWBURGH, NY

CLIENT:  
Martin Milano  
Hampton Inn & Suites, P.O. Box 10804  
Newburgh, NY 12552

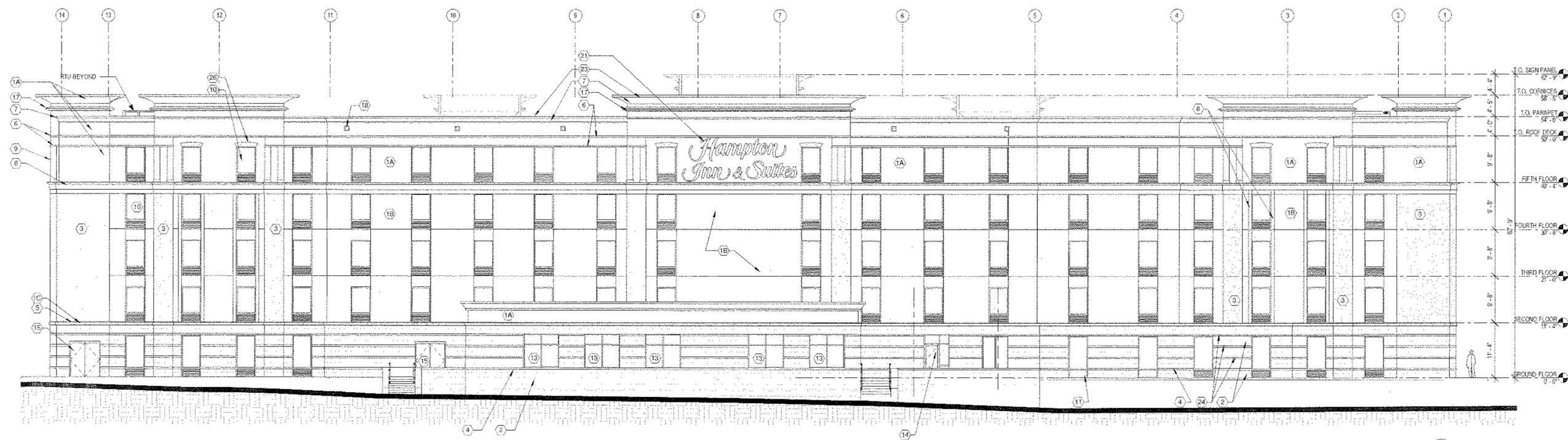
Discipline	Project	Author	Checker

**ROOF PLAN**

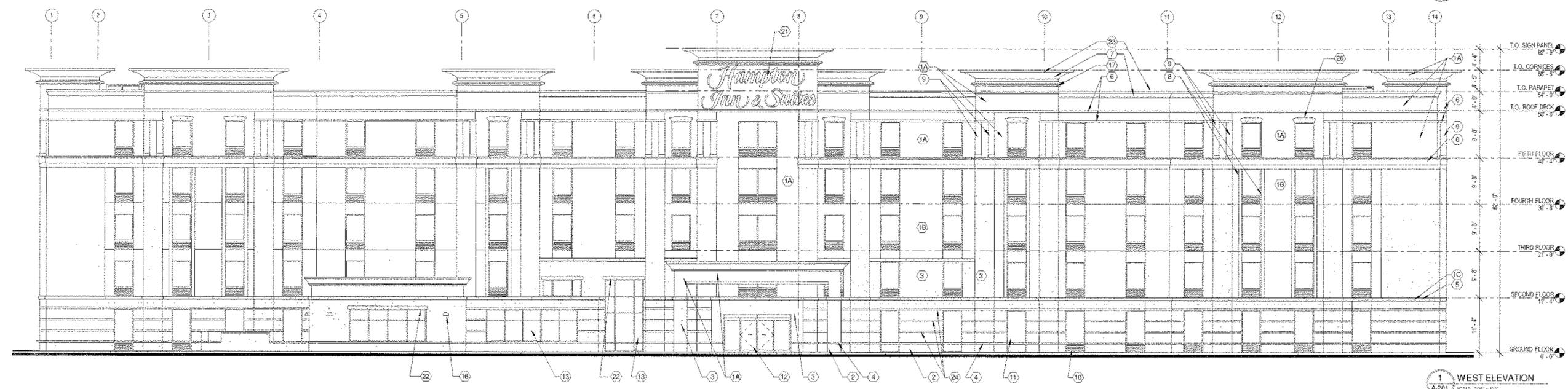
Scale: 3/32" = 1'-0"  
Date: 07/22/14  
Sheet: **A-106**



**ROOF PLAN**  
SCALE: 3/32" = 1'-0"



**2 EAST ELEVATION**  
A-201 SCALE: 3/32" = 1'-0"



**1 WEST ELEVATION**  
A-201 SCALE: 3/32" = 1'-0"

- | (E) ELEVATION KEY NOTES  | (F) ELEVATION KEY NOTES  |
|--|--|
| 1A EIF.S. SYSTEM - COLOR P1  | 14 PREFINISHED ALUMINUM FRAMED GLASS DOOR W/ KYMAR FINISH                                |
| 1B EIF.S. SYSTEM - COLOR P2  | 15 INSULATED HOLLOW METAL DOOR & FRAME, PTD. TO MATCH ADJACENT MASONRY                   |
| 1C EIF.S. SYSTEM - COLOR P3  | 16 EXTERIOR WALL SCOTCH, SEE ELECTRICAL DRAWINGS   |
| 2 ARCHITECTURAL PRECAST / CAST STONE MASONRY                                   | 17 MODULAR ARCHITECTURAL LIGHT TO BE PROVIDED BY HILTON SIGNAGE PARTNER                  |
| 3 BRICK VENEER   | 18 ALUMINUM ROOF SCUPPER & FRAME WITH CUSTOM COLOR FINISH TO MATCH ADJACENT WALL SURFACE |
| 4 ARCHITECTURAL PRECAST BULLHOSE   | 19 WELCOME SIGNAGE PER HAMPTON BRAND STANDARDS   |
| 5 EIFS TRANSITION / COPING BAND, COLOR P3, SEE WALL SECTIONS FOR EXACT PROFILE | 20 CLEARANCE SIGNAGE PER HAMPTON BRAND STANDARDS   |
| 6 EIFS BULLHOSE, COLOR P1, SEE WALL SECTIONS FOR DIMENSIONS                    | 21 INTERNALLY ILLUMINATED SIGNAGE  |
| 7 EIFS CORNICE, COLOR P1, SEE WALL SECTIONS FOR EXACT PROFILES                 | 22 ARCHITECTURAL PRECAST CONCRETE WINDOW HEAD  |
| 8 EIFS ACCENT TRIM, COLOR P1, SEE WALL SECTIONS FOR EXACT PROFILES             | 23 METAL COPING, COLOR TO MATCH EIFS CORNICE   |
| 9 EIFS DECORATIVE PILASTER, COLOR P1   | 24 RECESSED MASONRY COURSE   |
| 10 PREFINISHED ALUMINUM WINDOW WITH INTEGRATED LOUVER, KYMAR 500 FINISH        | 25 PRE-FINISHED MECHANICAL LOUVER W/ KYMAR FINISH  |
| 11 PREFINISHED ALUMINUM WINDOW, KYMAR 500 FINISH                               | 26 EIFS TRIM, ARCHED WINDOW HEAD, COLOR P3   |
| 12 ALUMINUM FRAMED AUTOMATIC SLIDING ENTRANCE SYSTEM                           |  |
| 13 ALUMINUM STOREFRONT SYSTEM  |  |

- MATERIAL LEGEND:**
- MASONRY VENEER - BRICK 1
  - MASONRY VENEER - CAST STONE
  - EIFS - ACCENT COLOR P1 "COTTON"
  - EIFS - FIELD COLOR P2 "VAN DYKE"
  - EIFS - TRIM COLOR P5

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PLANNING BOARD SUBMITTAL 01.19.15

ISSUE DATE

PROJECT: Hampton Inn & Suites

**HAMPTON INN & SUITES**

1 CROSS ROADS CT.  
NEWBURGH, NY

CLIENT:  
Martin Milano  
Hampton Inn & Suites, P.O. Box 10804  
Newburgh, NY 12552

Project Number | Author | Checker

**EXTERIOR ELEVATIONS - EAST & WEST**

Scale: As indicated  
Date: 01/19/15  
**A-201**



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PLANNING BOARD SUBMITTAL 01.19.15

ISSUE DATE

PROJECT: *Hampton Inn & Suites*  
**HAMPTON INN & SUITES**

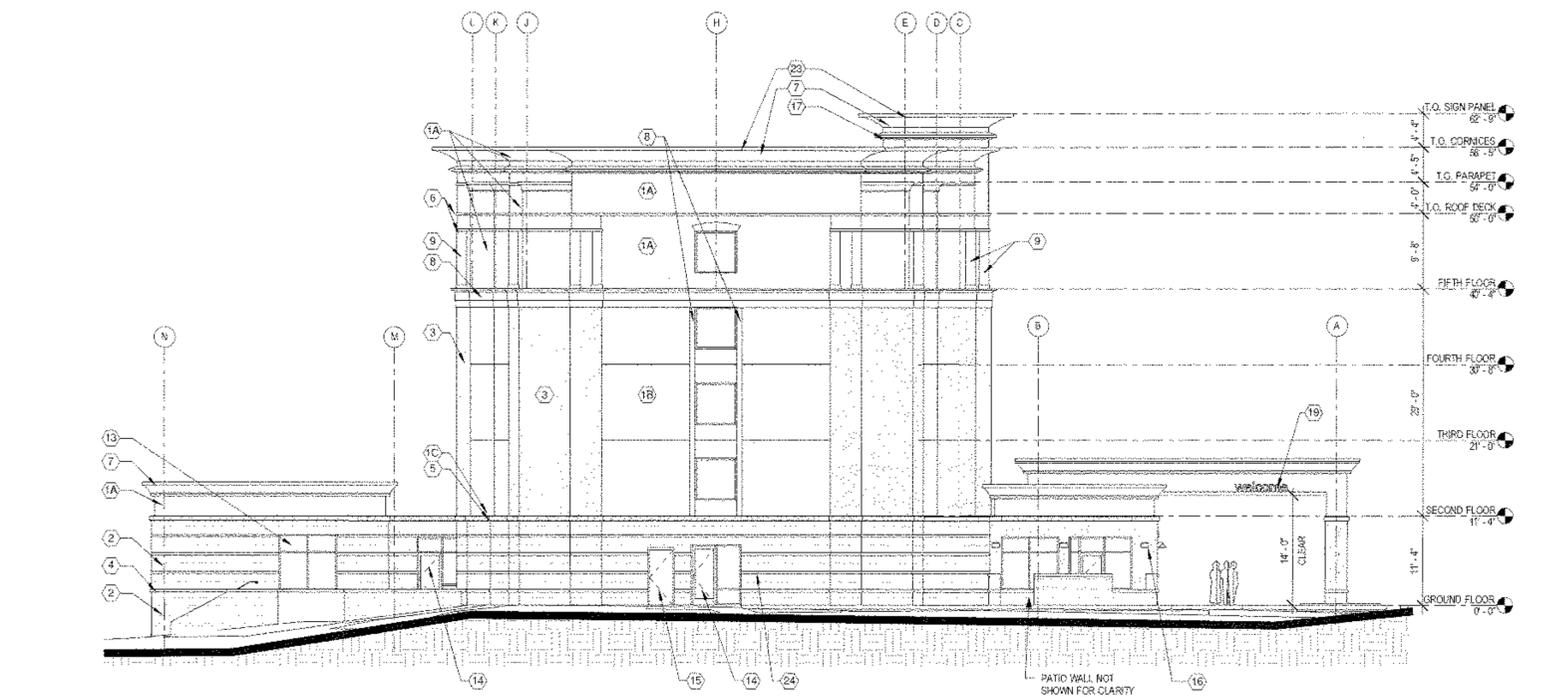
1 CROSS ROADS CT.  
 NEWBURGH, NY

CLIENT:  
 Martin Milano  
 Hampton Inn & Suites, P.O. Box 10804  
 Newburgh, NY 12552

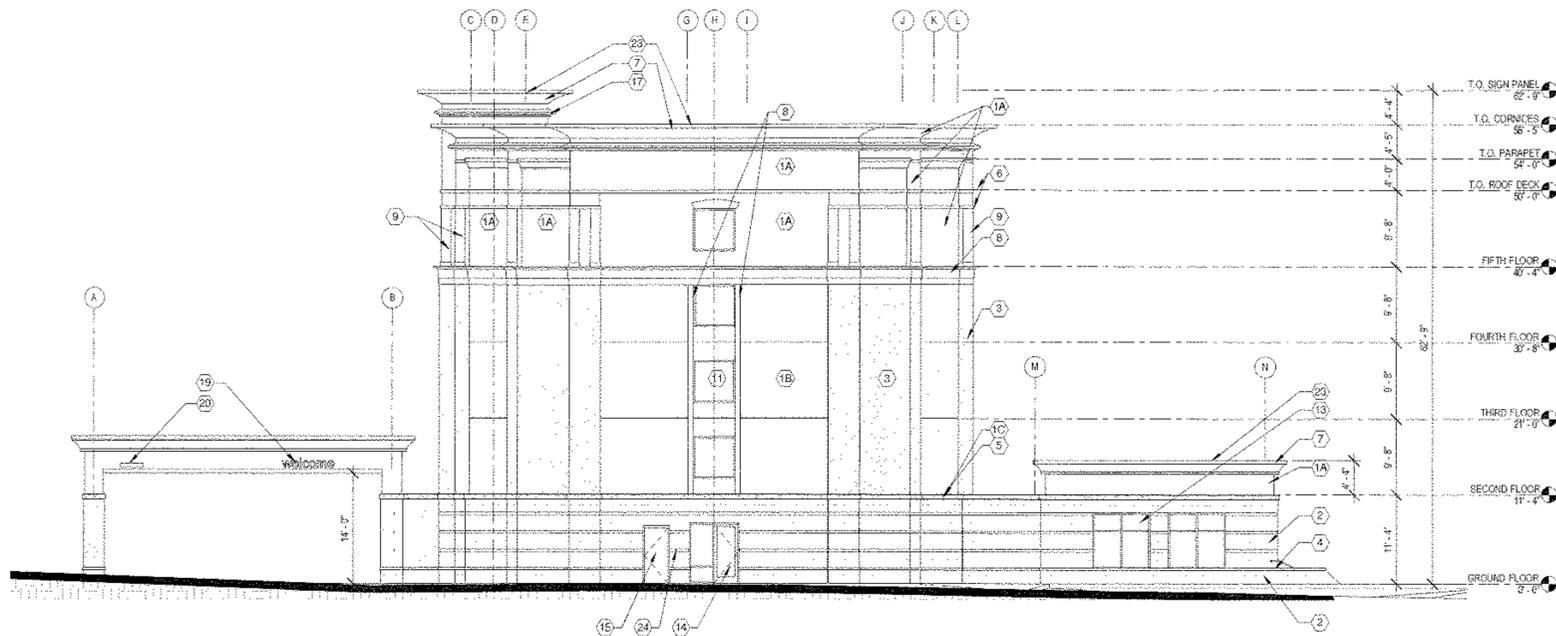
Project Number Author Checker

**EXTERIOR ELEVATIONS - NORTH & SOUTH**

Scale: As indicated  
 Date: 01/19/15  
 Sheet: **A-202**



**2 NORTH ELEVATION**  
 SCALE: 3/32" = 1'-0"



**1 SOUTH ELEVATION**  
 SCALE: 3/32" = 1'-0"

- ELEVATION KEY NOTES**
- 1A EIFS SYSTEM - COLOR P1
  - 1B EIFS SYSTEM - COLOR P2
  - 1C EIFS SYSTEM - COLOR P3
  - 2 ARCHITECTURAL PRECAST / CAST STONE MASONRY
  - 3 BRICK VENEER
  - 4 ARCHITECTURAL PRECAST BULLNOSE
  - 5 EIFS TRANSITION / COPING BAND, COLOR P3, SEE WALL SECTIONS FOR EXACT PROFILE
  - 6 EIFS BULLNOSE, COLOR P1, SEE WALL SECTIONS FOR EXACT PROFILES
  - 7 EIFS CORNICE, COLOR P1, SEE WALL SECTIONS FOR EXACT PROFILES
  - 8 EIFS ACCENT TRIM, COLOR P1, SEE WALL SECTIONS FOR EXACT PROFILES
  - 9 EIFS DECORATIVE PLASTER, COLOR P1
  - 10 PREFINISHED ALUMINUM WINDOW WITH INTEGRATED LOUVER, KYMAR 600 FINISH
  - 11 PREFINISHED ALUMINUM WINDOW, KYMAR 600 FINISH
  - 12 ALUMINUM FRAMED AUTOMATIC SLIDING ENTRANCE SYSTEM
  - 13 ALUMINUM STOREFRONT SYSTEM

- ELEVATION KEY NOTES**
- 14 PREFINISHED ALUMINUM FRAMED GLASS DOOR W/ KYMAR FINISH
  - 15 INSULATED HOLLOW METAL DOOR & FRAME, PTD. TO MATCH ADJACENT MASONRY
  - 16 EXTERIOR WALL SCENCE, SEE ELECTRICAL DRAWINGS
  - 17 MODULAR ARCHITECTURAL UPLIGHT TO BE PROVIDED BY MILTON SIGNAGE PARTNER
  - 18 ALUMINUM ROOF SCUPPER & FRAME WITH CUSTOM COLOR FINISH TO MATCH ADJACENT WALL SURFACE
  - 19 WELCOME SIGNAGE PER HAMPTON BRAND STANDARDS
  - 20 CLEARANCE SIGNAGE PER HAMPTON BRAND STANDARDS
  - 21 INTERNALLY ILLUMINATED SIGNAGE
  - 22 ARCHITECTURAL PRECAST CONCRETE WINDOW HEAD
  - 23 METAL COPING, COLOR TO MATCH EIFS CORNICE
  - 24 RECESSED MASONRY COURSE
  - 25 PREFINISHED MECHANICAL LOUVER W/ KYMAR FINISH
  - 26 EIFS TRIM, ARCHED WINDOW HEAD, COLOR P3

- MATERIAL LEGEND:**
- MASONRY VENEER - BRICK 1
  - MASONRY VENEER - CAST STONE
  - EIFS - ACCENT COLOR P1 "COTTON"
  - EIFS - FIELD COLOR P2 "VAN DYKE"
  - EIFS - TRIM COLOR P3



**BULK TABLE**

ZONE: IB - INTERCHANGE BUSINESS DISTRICT			
PERMITTED USES SUBJECT TO SITE PLAN REVIEW BY THE PLANNING BOARD, RESTAURANTS & HOTELS			
MINIMUM	REQUIRED	PROVIDED	REMARKS
LOT AREA	5.06 ACRES	45.92 ACRES	OK
FRONT YARD SETBACK	65'-0" FROM THE CONFORMANCE FROM MAP 100 & 101	368.8'	OK
REAR YARD SETBACK	50'	69.2'	OK
SIDE YARD SETBACK	50'	69.2'	OK
ONE	50'	117.9'	OK
BOTH	100'	N/A	OK
LOT WIDTH	200'	429.0' (GROSSROADS COURT)	OK
LOT DEPTH	200'	454.4' (GROSSROADS COURT)	OK
MAXIMUM	PERMITTED	PROVIDED	OK
BUILDING COVERAGE	25%	9.0%	OK
BUILDING HEIGHT	35'	62.5'	OK
LOT SURFACE COVERAGE	50%	50.3%	OK

\*VARIANCE RECEIVED FROM THE TOWN OF NEWBURGH ZONING BOARD OF APPEALS ON NOVEMBER 25, 2014

**NOTES:**

1. FIRE DISTRICT: ORANGE LAKE
2. SCHOOL DISTRICT: NEWBURGH
3. THE PROPERTY IS NOT WITHIN ANY ONE-HUNDRED-YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP NO. 360700139E.

**OWNER/APPLICANT:**

MR. MARTIN MILANO  
P.O. BOX 10804  
NEWBURGH, NY 12552

**TAX LOT:**

95-1-45.12

**SITE AREA:**

EXISTING: 45,512 SQ. FT.  
PROPOSED: 45,512 SQ. FT.  
LESS POTENTIAL GROSSROADS COURT B.O.W.: 1228,437 SQ. FT.  
TOTAL: 44,283.565 SQ. FT.  
4.524 ACRES

**PARKING REQUIREMENTS:**

- HOTEL, REQUIRED PARKING:**
- 1 PER GUEST BEDROOM (139 GUEST BEDROOMS) = 139 SPACES
  - 1 PER 2 EMPLOYEES ON THE PREMISES AT ANY 1 PERIOD = 8 SPACES
  - 1 PER 4 PERSONS MAXIMUM OCCUPANCY FOR ANY PUBLIC ASSEMBLY OR RESTAURANT AREAS = 10 SPACES
  - 40 MAXIMUM OCCUPANCY CONFERENCE AREA = 6 SPACES
  - HANDICAPPED SPACES INCLUDED: = 197 SPACES
  - TOTAL REQUIRED PARKING SPACES = 197 SPACES
- HOTEL, PROVIDED PARKING:**
- 1 PER GUEST BEDROOM (139 GUEST BEDROOMS) = 179 SPACES
  - 1 PER 2 EMPLOYEES ON THE PREMISES AT ANY 1 PERIOD = 8 SPACES
  - 1 PER 4 PERSONS MAXIMUM OCCUPANCY FOR ANY PUBLIC ASSEMBLY OR RESTAURANT AREAS = 10 SPACES
  - 40 MAXIMUM OCCUPANCY MEETING ROOM = 8 SPACES
  - HANDICAPPED SPACES INCLUDED: = 8 SPACES
  - TOTAL PROVIDED PARKING SPACES = 197 SPACES

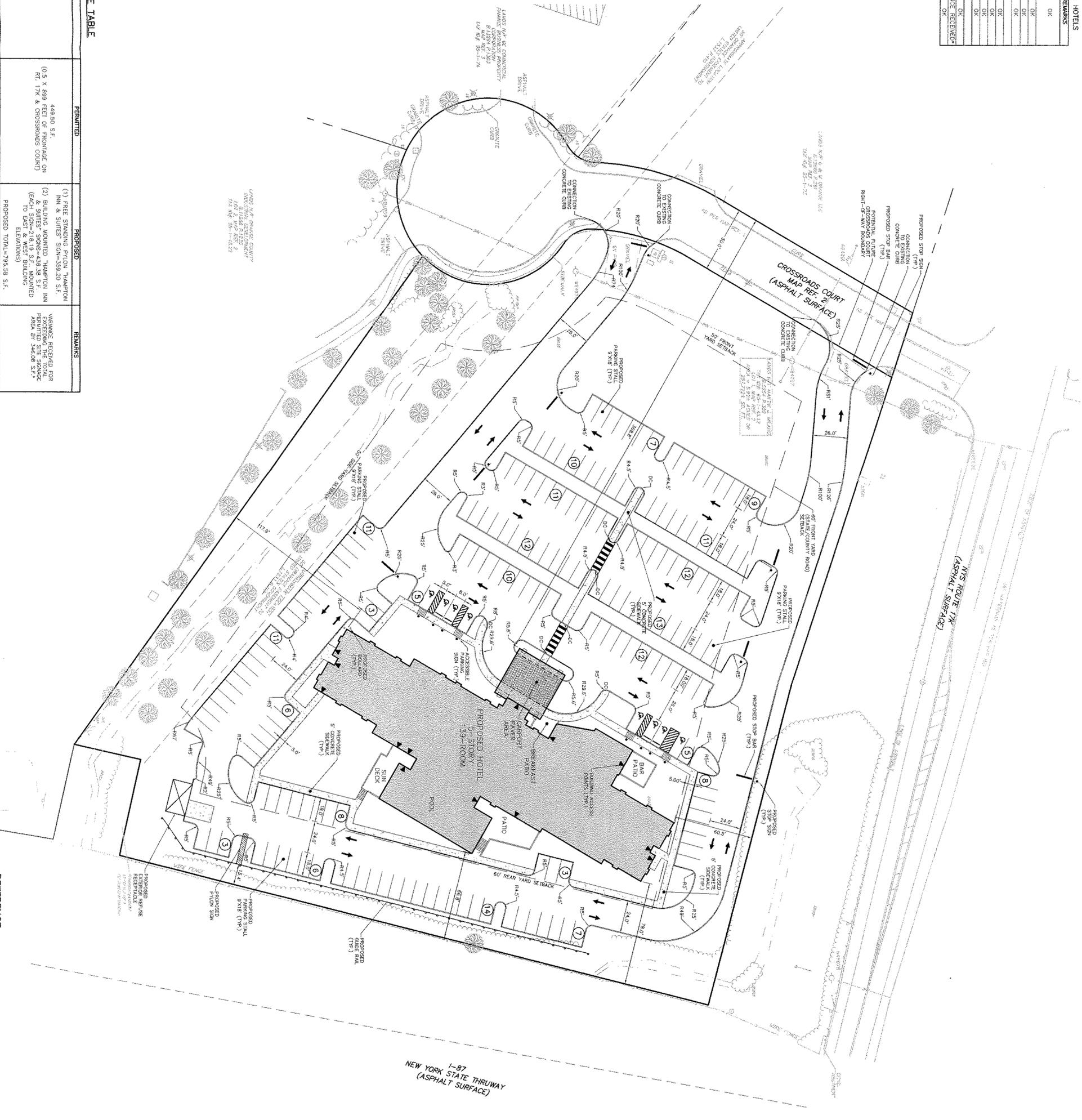
**INTERIOR LANDSCAPE REQUIREMENTS:**

- 5% OF TOTAL PARKING AREA SHALL BE DEVOTED TO INTERIOR LANDSCAPING
- TOTAL PARKING LOT AREA = 81,966 S.F.
- TOTAL INTERIOR LANDSCAPING REQUIRED = 4,099 S.F.
- TOTAL INTERIOR LANDSCAPING PROVIDED = 8,995 S.F.

**SIGNAGE TABLE**

MAXIMUM	PROPOSED	REMARKS	
SIGN AREA	449.50 S.F. (0.5 X 899 FEET OF FRONTAGE ON RT. 17K & CROSSROADS COURT)	(1) FREE STANDING Pylon SIGNATION INN & SUITES SIGN=382.20 S.F. (2) BUILDING MOUNTED HAMPTON INN & SUITES SIGN=48.32 S.F. (6'x12' SIGN, 2' WEST BUILDING TO EAST & WEST BUILDING ELEVATIONS) PROPOSED TOTAL=795.58 S.F.	VARIANCE RECEIVED FOR EXCEEDING THE TOTAL SIGNAGE AREA BY 346.08 S.F.

\*VARIANCE RECEIVED FROM THE TOWN OF NEWBURGH ZONING BOARD OF APPEALS ON NOVEMBER 25, 2014



REFERENCE: DIMENSIONS FOR SIGNAGE AND PLANNING INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY PREPARED BY MASER CONSULTING P.A., DATED MAY 7, 2014.

**DRAWING LEGEND**

- EXISTING: SITE BOUNDARY, GULDE RAIL, FENCE, CONTOUR, OVERHEAD WIRE
- PROPOSED: CURBLINE, SETBACK LINE, PARKING STALL COUNT, TRAFFIC FLOW ARROW, DUMPSTER LOCATION

**SCALE**

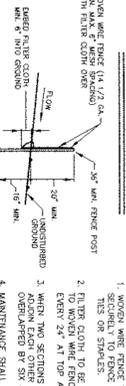
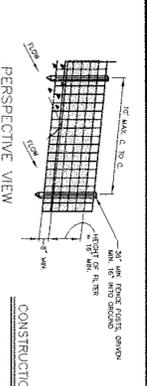
1" = 30'

0 30 60 FEET

**MASER CONSULTING P.A.**  
 100 West 10th Street  
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**TOWN OF NEWBURGH**  
 ORANGE COUNTY, N.Y.  
 12000031B  
 2 of 10

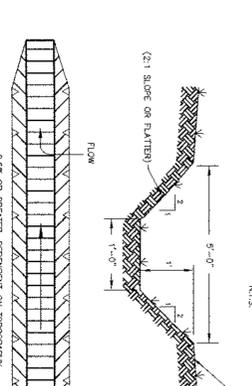




**WIRE REINFORCED SILT FENCE**

1. WORKER WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE.
2. FENCE SHOULD BE FASTENED TO STAKES EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FENCE GO TOGETHER, EACH END OF THE STAKE SHOULD BE BENT AND WIRE SHOULD BE PLACED AS SHOWN IN THE SECTION.
4. HANDLING SHALL BE PERFORMED AS WHEN BUCKLES DEVELOP IN THE SILT FENCE.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE



**SMALL INSTALLATION NOTES**

1. ALL TEMPORARY STAKES SHALL HAVE UNINTERFERED POSITIVE GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVERTED TO A SEDIMENT TRAPPING DEVICE.
3. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBSTRUCTIBLE MATERIAL SHALL BE REMOVED AND DIVERTED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING.
4. THE STAKE SHALL BE EXCAVATED OR SHIPPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE DESIGN SPECIFICATIONS HEREIN AND BE FREE OF BARK PROTECTIONS OR OTHER OBSTRUCTIONS.
5. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
6. ALL EXISTING RUNOFF AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
7. STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW.
8. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
9. WHERE SWALE THICKNESS CONSTRUCTION VEHICLE P.N.H. DEPTH TO BE "1".
10. WHERE SWALE THICKNESS CONSTRUCTION VEHICLE P.N.H. DEPTH TO BE "1".

TO BE INSTALLED ABOVE DISTURBED AREAS TO DIVERT RUNOFF OFF-SITE WITHOUT OPERATIONAL STOPPING. THE SWALE SHALL BE CONSTRUCTED TO DIVERT RUNOFF TO A SEDIMENT TRAPPING DEVICE AND TO SAFELY TRANSPORT RUNOFF FROM THE DISTURBED AREA.

ITEM OF MATERIAL QUANTITY PER LINEAL FOOT

1. 1/2" GALV. STEEL WIRE	1.1000
2. 2" X 2" WOODEN STAKE	1.0000
3. 1/2" GALV. STEEL WIRE	1.1000
4. 1/2" GALV. STEEL WIRE	1.1000

**TEMPORARY SWALE**

1. THE PROPOSED SWALE TO BE INSTALLED ALONG THE DISTURBED LIMIT LINE (W/EROSION CONTROL) SHALL BE CONSTRUCTED TO DIVERT RUNOFF TO A SEDIMENT TRAPPING DEVICE.
2. THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS OUTSIDE CLEARED LIMITS. NO EQUIPMENT IS PERMITTED OUTSIDE CLEARED LIMITS.
3. THE FENCE SHOULD REMAIN IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION PERIOD.
4. EXISTING VEGETATION IS TO BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE. VEGETATION WHICH IS TO BE REMOVED SHALL BE REPLANTED WITH PROTECTED AREAS. IF IT IS NECESSARY TO CLEAR OR MAINTENANCE MUST BE PROVIDED BEFORE STAKING.

**CONSTRUCTION SEQUENCE**

1. THE APPLICANT AND THE APPLICANT'S CONTRACTOR ARE REQUIRED TO ATTEND A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER AND THE TOWN SUPERVISOR TO DISCUSS THE PROJECT AND THE CONSTRUCTION SEQUENCE.
2. CONTRACTOR AND MAINTAIN THE SOUPHER CONSTRUCTION SEQUENCE AND STAGING AREA ALONG CROSSROADS COURT AS SHOWN ON THE PLANS ACCESSING THE PROJECT SITE.
3. CONTRACTOR SHALL INSTALL SIX (6) TEMPORARY STAKES TO BE MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL ADDITIONAL TEMPORARY STAKES AND SENSITIVE AREAS TO BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND MATERIALS.
4. CONTRACTOR SHALL INSTALL SIX (6) TEMPORARY STAKES TO BE MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL ADDITIONAL TEMPORARY STAKES AND SENSITIVE AREAS TO BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND MATERIALS.
5. CONTRACTOR SHALL INSTALL SIX (6) TEMPORARY STAKES TO BE MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL ADDITIONAL TEMPORARY STAKES AND SENSITIVE AREAS TO BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND MATERIALS.
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7. CONTRACTOR SHALL INSTALL SIX (6) TEMPORARY STAKES TO BE MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL ADDITIONAL TEMPORARY STAKES AND SENSITIVE AREAS TO BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND MATERIALS.
8. CONTRACTOR SHALL INSTALL SIX (6) TEMPORARY STAKES TO BE MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL ADDITIONAL TEMPORARY STAKES AND SENSITIVE AREAS TO BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND MATERIALS.
9. CONTRACTOR SHALL INSTALL SIX (6) TEMPORARY STAKES TO BE MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL ADDITIONAL TEMPORARY STAKES AND SENSITIVE AREAS TO BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND MATERIALS.
10. CONTRACTOR SHALL INSTALL SIX (6) TEMPORARY STAKES TO BE MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL ADDITIONAL TEMPORARY STAKES AND SENSITIVE AREAS TO BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND MATERIALS.

DISTURBED AREA = 4.51 ACRES  
 TEMPORARY STAKES REQUIRED = 1680 OF PER ACRE DISTURBED = 16,832 OF  
 TEMPORARY STAKES REQUIRED = 1680 OF

**GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN HIGH PRIORITY AREAS.
2. ANY DISTURBED AREAS SHALL BE LEFT EXPOSED UNLESS OTHERWISE SPECIFIED.
3. TEMPORARY SEEDING SHALL BE INSTALLED IN ALL EXPOSED AREAS TO PREVENT SOIL EROSION AND SEDIMENTATION.
4. SEEDING SHALL BE INSTALLED AT A RATE OF TWO (2) TONS PER ACRE ACCORDING TO STATE STANDARDS.
5. PERMANENT VEGETATION TO BE SEEDING OR SPOUD ON ALL EXPOSED AREAS SHALL BE INSTALLED AT A RATE OF TWO (2) TONS PER ACRE ACCORDING TO STATE STANDARDS.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
7. A SLOPE COVER WILL BE APPLIED TO ALL EXPOSED AREAS TO PREVENT SOIL EROSION AND SEDIMENTATION.
8. MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY AVAILABLE.
9. ANY STEEP SLOPES RECEIVING RUNOFF SHALL BE STABILIZED WITH PERMANENT VEGETATION.
10. THE STAKES FOR STABILIZED CONSTRUCTION AREAS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS AND SOILS WITH A HIGH ACID POTENTIAL.
11. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.
12. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.
13. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.
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18. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.
19. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.
20. USING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR SEDIMENT SHALL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.

**STONE OUTLET SEDIMENT TRAP**

1. AREA UNDER DRAINAGE SHALL BE CLEARED, GRADDED AND STAMPED OF ANY VEGETATION AS WELL AS OVER SEED STONES ROCK ORGANIC MATERIAL AND OTHER EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
2. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN CONSTRUCTION IS COMPLETED.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
4. ALL WATER POLLUTION IS PROHIBITED.
5. ALL CUT AND FILL SLOPES SHALL BE 1:1 OR FLATTER.
6. THE STONE USED IN THE OUTLET SHALL BE SMALL PERMANENTLY PLACED ON A 1" OR MORE SAND BED.
7. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.

**STONE OUTLET SEDIMENT TRAP TABLE**

SEDIMENT TRAP DRAINAGE AREA (A) (X) (Y) (W) (D) (H) (L) (S) (T) (V) (C) (F) (G) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z) (AA) (AB) (AC) (AD) (AE) (AF) (AG) (AH) (AI) (AJ) (AK) (AL) (AM) (AN) (AO) (AP) (AQ) (AR) (AS) (AT) (AU) (AV) (AW) (AX) (AY) (AZ) (BA) (BB) (BC) (BD) (BE) (BF) (BG) (BH) (BI) (BJ) (BK) (BL) (BM) (BN) (BO) (BP) (BQ) (BR) (BS) (BT) (BU) (BV) (BW) (BX) (BY) (BZ) (CA) (CB) (CC) (CD) (CE) (CF) (CG) (CH) (CI) (CJ) (CK) (CL) (CM) (CN) (CO) (CP) (CQ) (CR) (CS) (CT) (CU) (CV) (CW) (CX) (CY) (CZ) (DA) (DB) (DC) (DD) (DE) (DF) (DG) (DH) (DI) (DJ) (DK) (DL) (DM) (DN) (DO) (DP) (DQ) (DR) (DS) (DT) (DU) (DV) (DW) (DX) (DY) (DZ) (EA) (EB) (EC) (ED) (EE) (EF) (EG) (EH) (EI) (EJ) (EK) (EL) (EM) (EN) (EO) (EP) (EQ) (ER) (ES) (ET) (EU) (EV) (EW) (EX) (EY) (EZ) (FA) (FB) (FC) (FD) (FE) (FF) (FG) (FH) (FI) (FJ) (FK) (FL) (FM) (FN) (FO) (FP) (FQ) (FR) (FS) (FT) (FU) (FV) (FW) (FX) (FY) (FZ) (GA) (GB) (GC) (GD) (GE) (GF) (GG) (GH) (GI) (GJ) (GK) (GL) (GM) (GN) (GO) (GP) (GQ) (GR) (GS) (GT) (GU) (GV) (GW) (GX) (GY) (GZ) (HA) (HB) (HC) (HD) (HE) (HF) (HG) (HH) (HI) (HJ) (HK) (HL) (HM) (HN) (HO) (HP) (HQ) (HR) (HS) (HT) (HU) (HV) (HW) (HX) (HY) (HZ) (IA) (IB) (IC) (ID) (IE) (IF) (IG) (IH) (II) (IJ) (IK) (IL) (IM) (IN) (IO) (IP) (IQ) (IR) (IS) (IT) (IU) (IV) (IW) (IX) (IY) (IZ) (JA) (JB) (JC) (JD) (JE) (JF) (JG) (JH) (JI) (JJ) (JK) (JL) (JM) (JN) (JO) (JP) (JQ) (JR) (JS) (JT) (JU) (JV) (JW) (JX) (JY) (JZ) (KA) (KB) (KC) (KD) (KE) (KF) (KG) (KH) (KI) (KJ) (KL) (KM) (KN) (KO) (KP) (KQ) (KR) (KS) (KT) (KU) (KV) (KW) (KX) (KY) (KZ) (LA) (LB) (LC) (LD) (LE) (LF) (LG) (LH) (LI) (LJ) (LK) (LL) (LM) (LN) (LO) (LP) (LQ) (LR) (LS) (LT) (LU) (LV) (LW) (LX) (LY) (LZ) (MA) (MB) (MC) (MD) (ME) (MF) (MG) (MH) (MI) (MJ) (MK) (ML) (MN) (MO) (MP) (MQ) (MR) (MS) (MT) (MU) (MV) (MW) (MX) (MY) (MZ) (NA) (NB) (NC) (ND) (NE) (NF) (NG) (NH) (NI) (NJ) (NK) (NL) (NM) (NO) (NP) (NQ) (NR) (NS) (NT) (NU) (NV) (NW) (NX) (NY) (NZ) (OA) (OB) (OC) (OD) (OE) (OF) (OG) (OH) (OI) (OJ) (OK) (OL) (OM) (ON) (OO) (OP) (OQ) (OR) (OS) (OT) (OU) (OV) (OW) (OX) (OY) (OZ) (PA) (PB) (PC) (PD) (PE) (PF) (PG) (PH) (PI) (PJ) (PK) (PL) (PM) (PN) (PO) (PP) (PQ) (PR) (PS) (PT) (PU) (PV) (PW) (PX) (PY) (PZ) (QA) (QB) (QC) (QD) (QE) (QF) (QG) (QH) (QI) (QJ) (QK) (QL) (QM) (QN) (QO) (QP) (QQ) (QR) (QS) (QT) (QU) (QV) (QW) (QX) (QY) (QZ) (RA) (RB) (RC) (RD) (RE) (RF) (RG) (RH) (RI) (RJ) (RK) (RL) (RM) (RN) (RO) (RP) (RQ) (RR) (RS) (RT) (RU) (RV) (RW) (RX) (RY) (RZ) (SA) (SB) (SC) (SD) (SE) (SF) (SG) (SH) (SI) (SJ) (SK) (SL) (SM) (SN) (SO) (SP) (SQ) (SR) (SS) (ST) (SU) (SV) (SW) (SX) (SY) (SZ) (TA) (TB) (TC) (TD) (TE) (TF) (TG) (TH) (TI) (TJ) (TK) (TL) (TM) (TN) (TO) (TP) (TQ) (TR) (TS) (TT) (TU) (TV) (TW) (TX) (TY) (TZ) (UA) (UB) (UC) (UD) (UE) (UF) (UG) (UH) (UI) (UJ) (UK) (UL) (UM) (UN) (UO) (UP) (UQ) (UR) (US) (UT) (UU) (UV) (UW) (UX) (UY) (UZ) (VA) (VB) (VC) (VD) (VE) (VF) (VG) (VH) (VI) (VJ) (VK) (VL) (VM) (VN) (VO) (VP) (VQ) (VR) (VS) (VT) (VU) (VV) (VW) (VX) (VY) (VZ) (WA) (WB) (WC) (WD) (WE) (WF) (WG) (WH) (WI) (WJ) (WK) (WL) (WM) (WN) (WO) (WP) (WQ) (WR) (WS) (WT) (WU) (WV) (WW) (WX) (WY) (WZ) (XA) (XB) (XC) (XD) (XE) (XF) (XG) (XH) (XI) (XJ) (XK) (XL) (XM) (XN) (XO) (XP) (XQ) (XR) (XS) (XT) (XU) (XV) (XW) (XX) (XY) (XZ) (YA) (YB) (YC) (YD) (YE) (YF) (YG) (YH) (YI) (YJ) (YK) (YL) (YM) (YN) (YO) (YP) (YQ) (YR) (YS) (YT) (YU) (YV) (YW) (YX) (YZ) (ZA) (ZB) (ZC) (ZD) (ZE) (ZF) (ZG) (ZH) (ZI) (ZJ) (ZK) (ZL) (ZM) (ZN) (ZO) (ZP) (ZQ) (ZR) (ZS) (ZT) (ZU) (ZV) (ZW) (ZX) (ZY) (ZZ)							
A	0.701 AC	32' X 20'	4.0 FT.	2,532 C.F.	2,560 C.F.	4.0 FT.	4.0 FT.
B	0.637 AC	32' X 18'	4.0 FT.	2,263 C.F.	2,304 C.F.	4.0 FT.	4.0 FT.
C	0.930 AC	32' X 24'	4.0 FT.	3,349 C.F.	3,504 C.F.	4.0 FT.	4.0 FT.
D	1.039 AC	42' X 23'	4.0 FT.	3,737 C.F.	3,884 C.F.	4.0 FT.	4.0 FT.
E	0.738 AC	34' X 20'	4.0 FT.	2,658 C.F.	2,720 C.F.	4.0 FT.	4.0 FT.
TOTAL	4.551 AC			16,332 C.F.	16,880 C.F.		

**DEWATERING PIT**

1. PIT DIMENSIONS ARE VARIABLE.
2. THE STAKE SHOULD BE A PERFORATED 12" TO 24" DIAMETER CORRUGATED.
3. A BASE OF 2" CLEAR AGGREGATE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12".
4. AFTER INSTALLING THE STAKE, THE PIT SUPERSTRUCTURE SHOULD BE CONSTRUCTED TO BE 12" ABOVE THE TOP OF THE PIT.
5. IF POSSIBLE, THE PIT SHOULD BE PLACED IN A STONY OR SANDY AREA TO PREVENT COLLAPSE.
6. IF COLLAPSE OCCURS, THE PIT SHOULD BE RECONSTRUCTED WITH 1/2" HARDWARE CLOTH MAY BE PLACED AROUND THE PIT TO PREVENT COLLAPSE.
7. THE PIT SHOULD BE MAINTAINED AND REPAIRED AS NEEDED.

**SILT FENCE INSTALLATION**

1. SILT FENCE SHALL BE INSTALLED PARALLEL TO THE DISTURBED AREA.
2. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
3. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
4. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
5. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
6. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
7. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
8. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
9. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
10. SILT FENCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.

**SOIL STOCKPILE**

1. SOIL STOCKPILE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
2. SOIL STOCKPILE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
3. SOIL STOCKPILE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
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7. SOIL STOCKPILE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
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9. SOIL STOCKPILE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
10. SOIL STOCKPILE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.

**STABILIZED CONSTRUCTION ENTRANCE**

1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
3. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
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7. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
8. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
9. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
10. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.

**SLOPE STABILIZATION DETAIL**

1. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
2. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
3. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
4. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
5. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
6. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
7. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
8. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
9. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
10. SLOPE STABILIZATION SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.

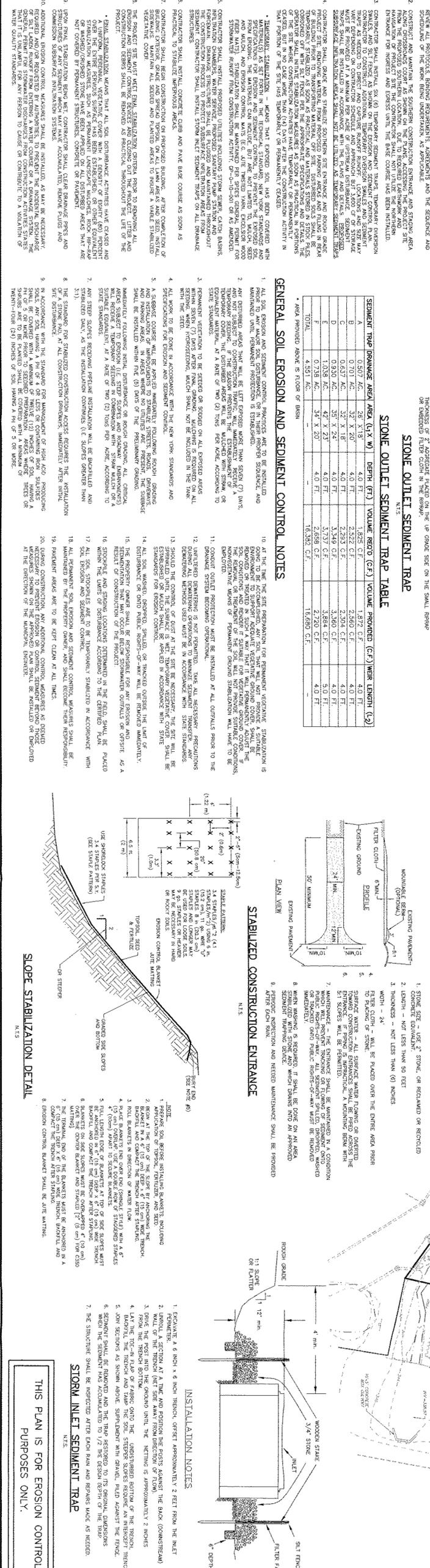
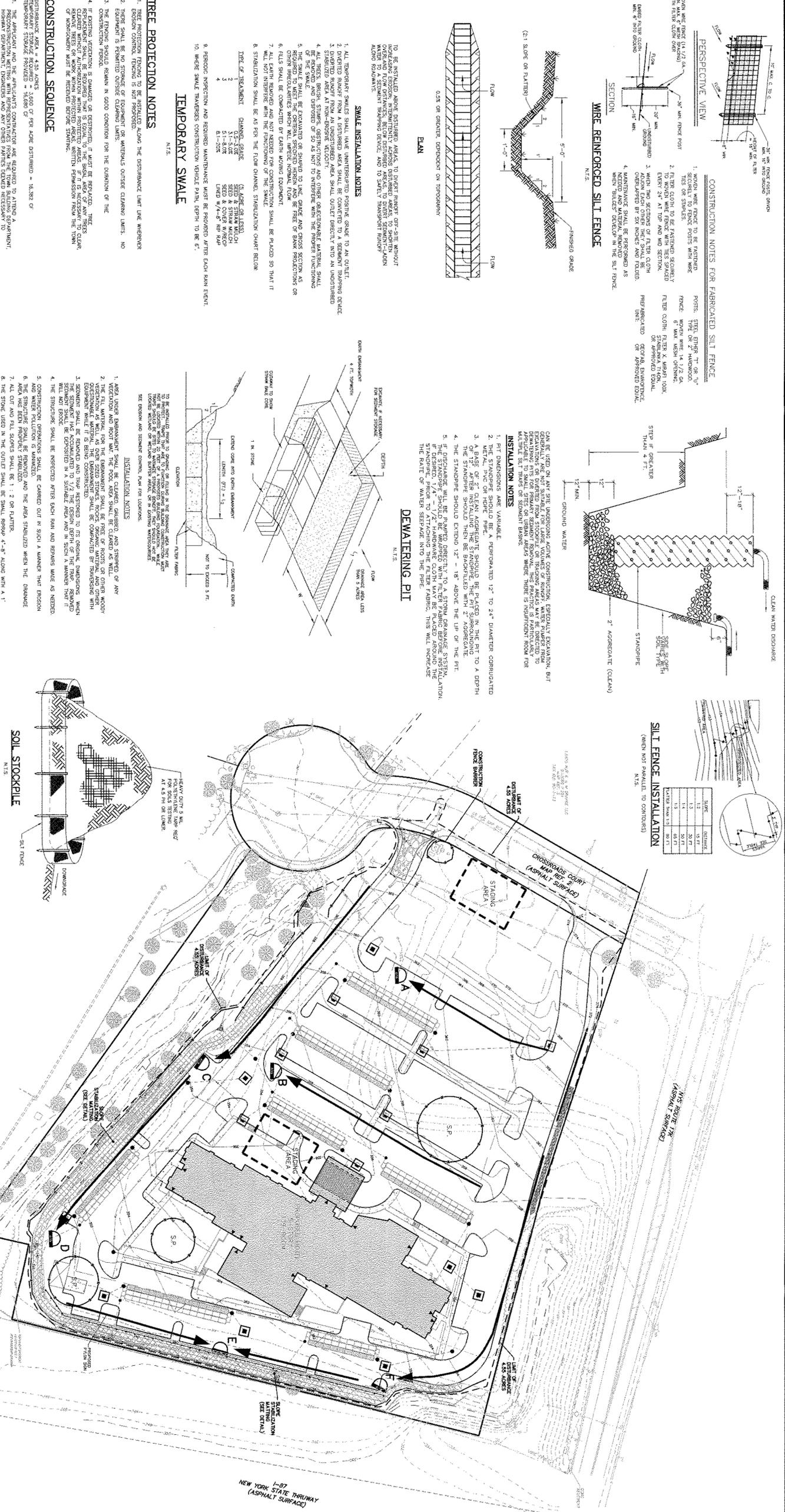
**STORM INLET SEDIMENT TRAP**

1. STORM INLET SEDIMENT TRAP SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
2. STORM INLET SEDIMENT TRAP SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
3. STORM INLET SEDIMENT TRAP SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
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8. STORM INLET SEDIMENT TRAP SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
9. STORM INLET SEDIMENT TRAP SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.
10. STORM INLET SEDIMENT TRAP SHALL BE INSTALLED AT A DISTANCE OF 10 FEET FROM THE DISTURBED AREA.

**INSTALLATION NOTES**

1. PREPARE SOIL BEFORE INSTALLING BARRIERS INCLUDING:
2. REPAIR ALL DAMAGE TO THE SOIL FROM ANY PREVIOUS CONSTRUCTION.
3. FILL THE TRENCH WITH FINE SAND OR FINE GRAVEL.
4. LAY THE TRENCH FLOOR OR FABRIC OVER THE UNDERLAYER WITH THE TRENCH.
5. DON'T STAKE TO STAKE OVER THE SUPPLEMENTARY SAND FILL DURING THE TRENCH.
6. WHEN STABILIZATION IS COMPLETED, THE TRENCH SHOULD BE FILLED WITH SAND OR FINE GRAVEL.
7. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

**THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY.**



**LOCATION MAP**

SCALE 1" = 200'

**DRAINING LEGEND**

- SILT FENCE
- STORM INLET
- SEDIMENT TRAP
- STABILIZED CONSTRUCTION ENTRANCE
- STOCKPILE LOCATION
- STAGING AREA
- TEMPORARY SWALE
- SLOPE STABILIZATION
- STONE OUTLET SEDIMENT TRAP

**GENERAL NOTES**

1. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) REGULATIONS.

2. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN ENGINEER AND THE TOWN SUPERVISOR.

3. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

4. THE APPLICANT SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.

6. THE APPLICANT SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL MEASURES AT THE END OF CONSTRUCTION.

7. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.

8. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.

9. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.

10. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BECOME THEIR RESPONSIBILITY.

**PROJECT INFORMATION**

PROJECT NUMBER: 12000031B

DATE: 01/27/15

TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.

HAUPPON INN SUITES

MARTIN MILANO

TAX LOT 95-1-4512

DESIGNED BY: MASER ENGINEERING & ARCHITECTURE, P.C.

100 WEST 10TH STREET, SUITE 200, NEWBURGH, NY 10993

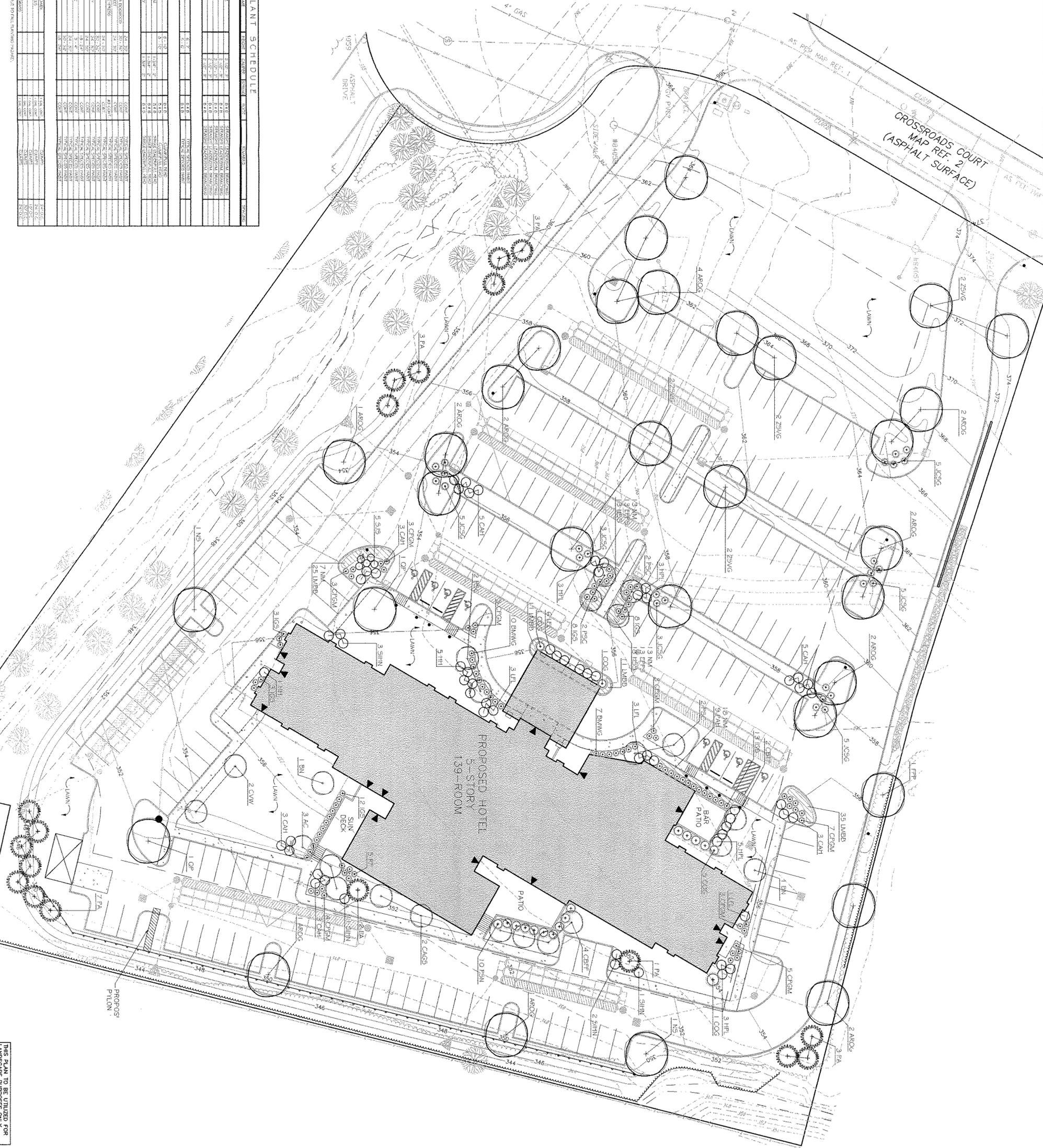
PHONE: 845-562-1111

WWW.MASERENGINEERING.COM

- LANDSCAPE NOTES**
1. THESE PLANS ARE TO BE USED FOR LANDSCAPE PURPOSES ONLY. REFER TO SHEET 1.0 FOR GENERAL LANDSCAPE NOTES.
  2. LOCATIONS OF ALL PLANT MATERIAL AND PLANNING BED OUTLINES IS APPROXIMATE AND MAY VARY DUE TO FIELD CONDITIONS OF THE PROJECT.
  3. FINAL LOCATION OF ALL PLANT MATERIAL AND PLANNING BED OUTLINES SHALL BE DETERMINED BY THE FIELD SURVEY OF THE LANDSCAPE ARCHITECT.
  4. ALL AREAS WITHIN THE PLANNING BED OUTLINES SHALL BE MAINTAINED WITH 3" OF SPREADER FERTILIZER.
  5. ALL PLANT MATERIAL SHALL BE SPECIFIED WITH S&P.
  6. MAINTENANCE LAMM AREAS WILL BE SPECIFIED WITH AN AUTOMATIC IRRIGATION SYSTEM AS REQUIRED. EXCEPT FOR COVERAGE AND ACTUAL PLANNING BED OUTLINES, WHICH ARE TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
  7. ALL PLANT MATERIAL SHALL BE SPECIFIED TO COMPLY WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF HEDICINERS STANDARDS FOR PLANT STOCK.
  8. ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT NOTICE TO THE OWNER.
  9. THE OWNER SHALL ENTER INTO A COMPREHENSIVE MAINTENANCE PLAN AGREEMENT WITH A LANDSCAPE CONTRACTOR FOR THE TREE AND PLANNING BED AREAS. THIS AGREEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: PRUNING, FERTILIZING, WATERING AND OTHER ACTIVITIES AS NECESSARY TO MAINTAIN THE AREAS IN UNIFORM AND HEALTHY CONDITION. SPECIAL PLANNING BED AREAS SHALL BE MAINTAINED AS SUCH. ALL PLANTS SHALL BE TRIMMED AND MAINTAINED AS REQUIRED. MAINTENANCE LAMM AREAS SHALL BE MAINTAINED AS SUCH. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PLANNING BED AREAS. A COPY OF THE CONTRACT FOR THE MAINTENANCE SHALL BE PROVIDED TO THE ARCHITECT AND THE LANDSCAPE ARCHITECT.

**SITE PLANT SCHEDULE**

NO.	SYMBOL	PLANT NAME	QUANTITY	REMARKS
<b>SHADE TREES</b>				
1	(Symbol)	PLANT NAME	1	REMARKS
2	(Symbol)	PLANT NAME	2	REMARKS
3	(Symbol)	PLANT NAME	3	REMARKS
4	(Symbol)	PLANT NAME	4	REMARKS
5	(Symbol)	PLANT NAME	5	REMARKS
6	(Symbol)	PLANT NAME	6	REMARKS
7	(Symbol)	PLANT NAME	7	REMARKS
8	(Symbol)	PLANT NAME	8	REMARKS
9	(Symbol)	PLANT NAME	9	REMARKS
10	(Symbol)	PLANT NAME	10	REMARKS
<b>ORNAMENTAL TREES</b>				
11	(Symbol)	PLANT NAME	11	REMARKS
12	(Symbol)	PLANT NAME	12	REMARKS
13	(Symbol)	PLANT NAME	13	REMARKS
14	(Symbol)	PLANT NAME	14	REMARKS
15	(Symbol)	PLANT NAME	15	REMARKS
16	(Symbol)	PLANT NAME	16	REMARKS
17	(Symbol)	PLANT NAME	17	REMARKS
18	(Symbol)	PLANT NAME	18	REMARKS
19	(Symbol)	PLANT NAME	19	REMARKS
20	(Symbol)	PLANT NAME	20	REMARKS
<b>SHRUBS</b>				
21	(Symbol)	PLANT NAME	21	REMARKS
22	(Symbol)	PLANT NAME	22	REMARKS
23	(Symbol)	PLANT NAME	23	REMARKS
24	(Symbol)	PLANT NAME	24	REMARKS
25	(Symbol)	PLANT NAME	25	REMARKS
26	(Symbol)	PLANT NAME	26	REMARKS
27	(Symbol)	PLANT NAME	27	REMARKS
28	(Symbol)	PLANT NAME	28	REMARKS
29	(Symbol)	PLANT NAME	29	REMARKS
30	(Symbol)	PLANT NAME	30	REMARKS
31	(Symbol)	PLANT NAME	31	REMARKS
32	(Symbol)	PLANT NAME	32	REMARKS
33	(Symbol)	PLANT NAME	33	REMARKS
34	(Symbol)	PLANT NAME	34	REMARKS
35	(Symbol)	PLANT NAME	35	REMARKS
36	(Symbol)	PLANT NAME	36	REMARKS
37	(Symbol)	PLANT NAME	37	REMARKS
38	(Symbol)	PLANT NAME	38	REMARKS
39	(Symbol)	PLANT NAME	39	REMARKS
40	(Symbol)	PLANT NAME	40	REMARKS



THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.

**DRAWING LEGEND**

- (Symbol) PROPOSED SHADE/TREE TREE
- (Symbol) PROPOSED ORNAMENTAL TREE
- (Symbol) PROPOSED EVERGREEN TREE
- (Symbol) PROPOSED SHRUB
- (Symbol) FERTILIZER FLOWERS
- (Symbol) OUTLINE OF CONSTRUCTION PLANNING BED

**SCALE IN FEET**

1" = 20'

0 20 40

SCALE IN METERS

1:200

0 20 40

**PLAN NORTH**

**MASER**

LANDSCAPE ARCHITECT

12000031B

DATE: 01/21/15

SCALE: 1" = 20'

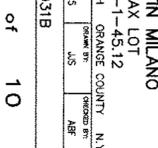
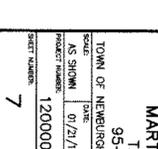
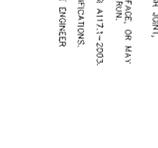
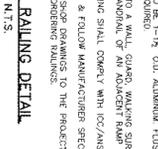
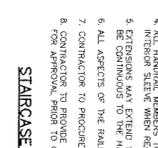
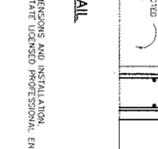
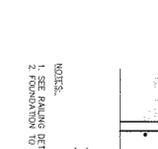
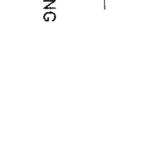
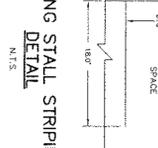
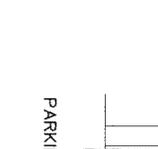
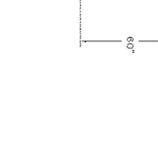
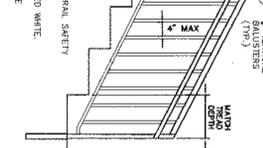
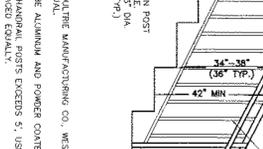
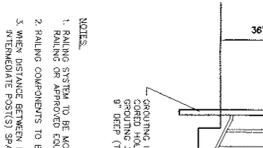
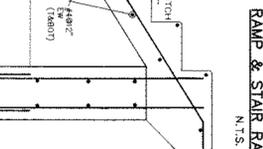
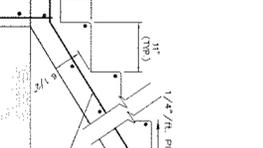
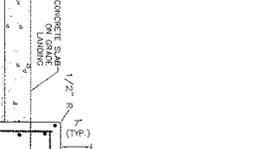
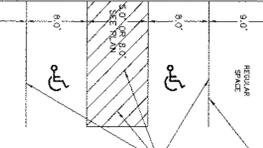
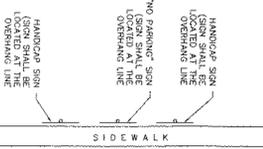
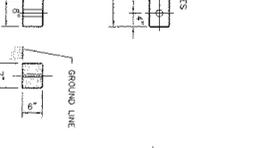
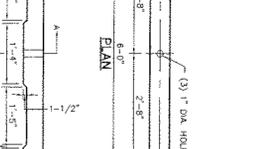
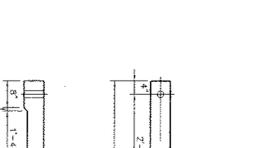
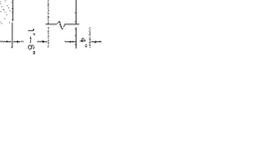
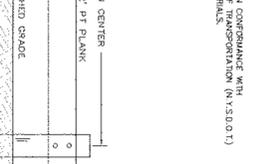
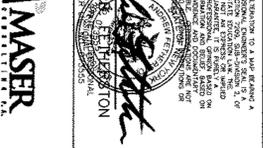
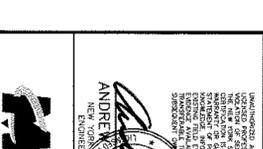
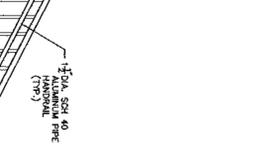
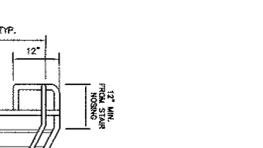
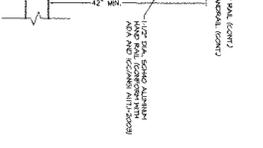
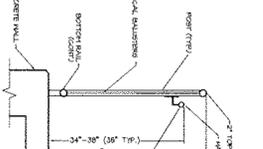
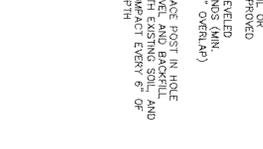
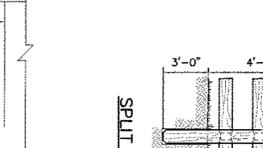
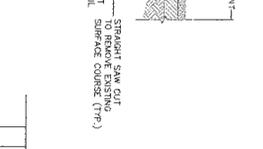
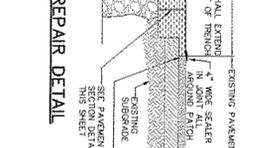
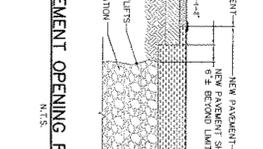
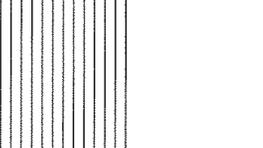
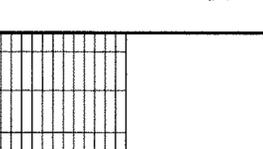
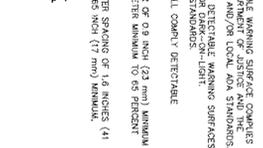
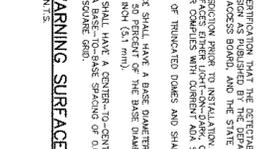
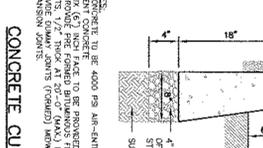
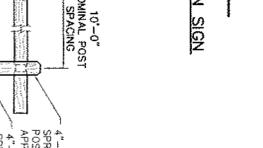
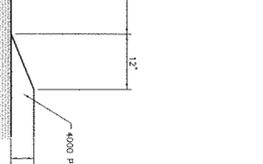
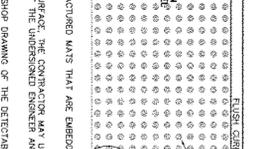
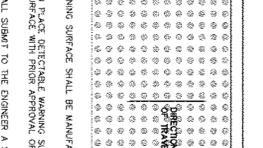
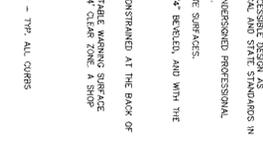
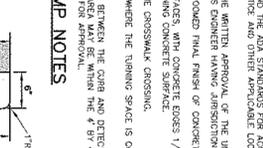
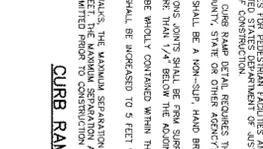
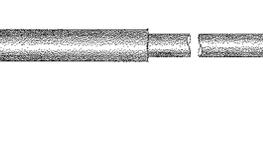
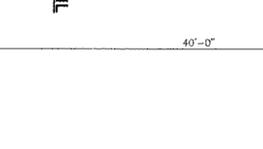
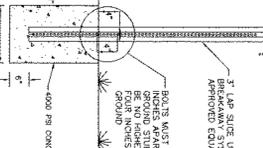
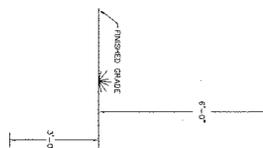
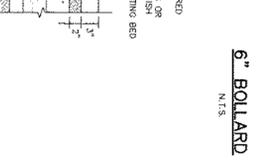
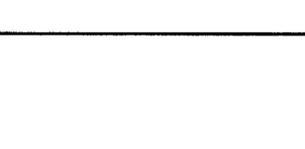
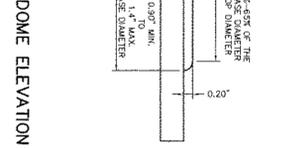
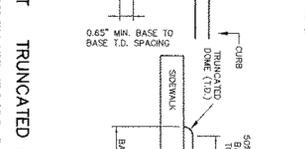
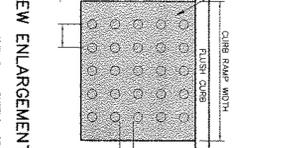
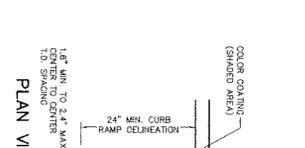
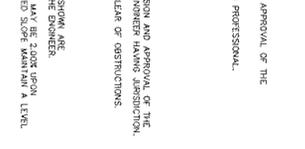
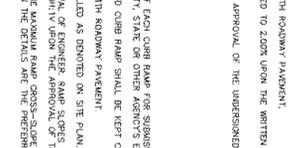
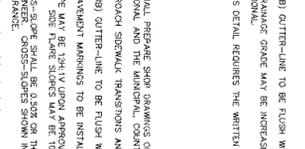
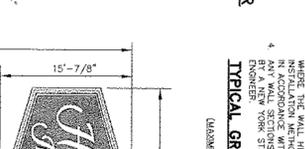
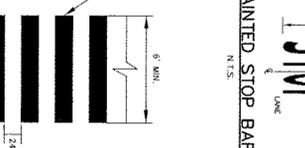
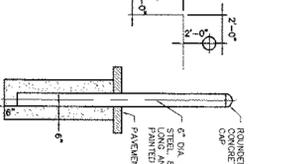
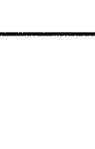
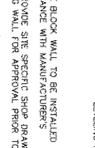
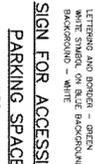
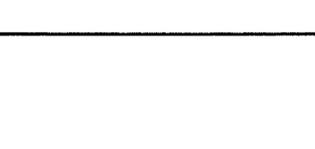
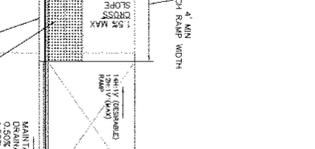
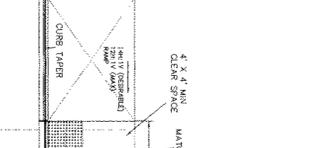
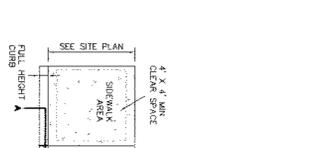
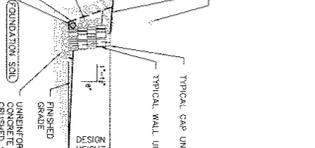
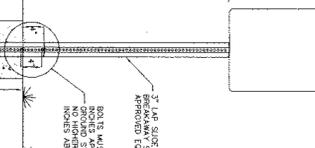
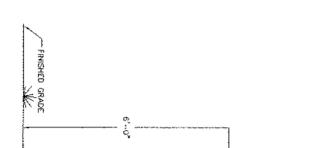
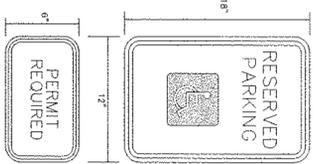
TOWN OF NEWMARKET, ORANGE COUNTY, N.Y.

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**CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CALL 1-800-862-7832.
2. EROSION CONTROL MEASURES WILL BE REQUIRED AS PER THE EROSION CONTROL PLAN.
3. AS BUILT PLANS SHALL BE REQUIRED AND SUBMITTED TO THE TOWN OF NEWBURGH.
4. ALL PROPERTIES LOCATED IN THE R.O.W. OR ADJACENT AREAS SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
6. THE SITE PREPARATION SHALL BE STAYED IN THE FIELD BY A N.Y. STATE LICENSED SURVEYOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE SITE THROUGHOUT CONSTRUCTION.



NO.	DESCRIPTION
1	CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2	EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3	AS BUILT PLANS SHALL BE SUBMITTED TO THE TOWN OF NEWBURGH.
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NO.	DESCRIPTION
1	THIS PAVEMENT SECTION IS TO BE USED FOR DRIVEWAYS AND PARKING AREAS.
2	MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH N.Y.S.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
3	SEE PLAN FOR SITE SPECIFIC CROSS SECTIONS.

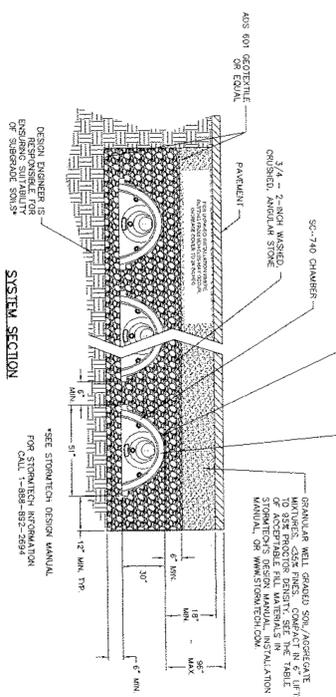
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6	THE SITE PREPARATION SHALL BE STAYED IN THE FIELD BY A N.Y. STATE LICENSED SURVEYOR.
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7	THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
8	THE CONTRACTOR SHALL BE RESPONSIBLE

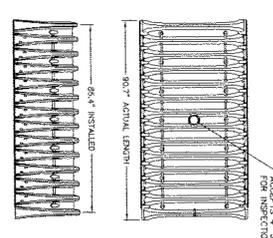


CHAMBERS SHALL MEET THE STORM RESISTANCE AND SAFETY FACTORS SPECIFIED IN SECTION 1212 OF THE LATEST EDITION OF THE MASSDOT LHM PROJECT DESIGN SPECIFICATIONS. CHAMBERS SHALL BE MANUFACTURED WITH SECTION 3 MATERIAL AND SHALL INCLUDE 180 DEGREE ROCK IMPACT FACTOR, IMPACT PRESSURE FACTOR, AND ONE EQUAL.



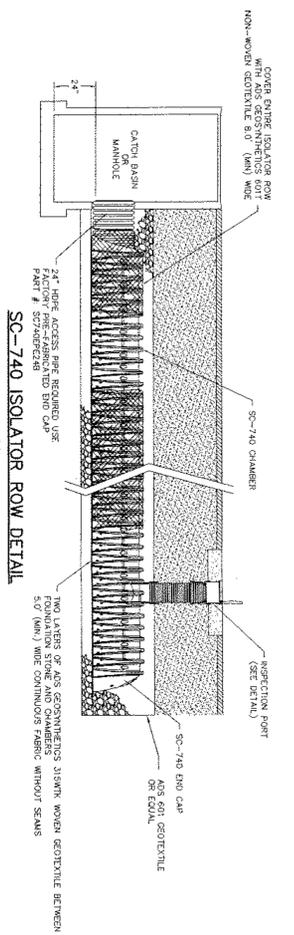
**STORMTECH NOTES:**

1. CHAMBERS SHALL BE STORMTECH MC-3500 OR APPROVED EQUAL.
2. CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-ADAPTED POLYPROPYLENE COPOLYMERS.
3. CHAMBER ROWS SHALL PROVIDE CONTINUOUS UNINTERRUPTED IMPACT FLOW. THERE SHALL BE NO INTERVALS BETWEEN ROWS WOULD IMPACT FLOW.
4. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL MATERIAL, AND THE INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL, INSTALLATION MANUAL, AND THE STORMTECH DESIGN MANUAL. SPECIFICATIONS SECTION 1212 ARE MET FOR: (1) LONG-DURATION DESIGN WIND SPEEDS OF 120 MPH WITH CONSIDERATION FOR MULTIPLE VEHICLE PRESENCE.
5. ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED TO BE USED FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE.
6. THE INSTALLATION SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL, INSTALLATION MANUAL, AND THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.



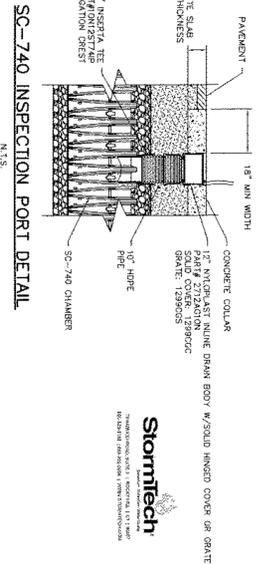
**STORMTECH SC-740 CHAMBER (SUBSURFACE SYSTEMS)**

N.T.S.



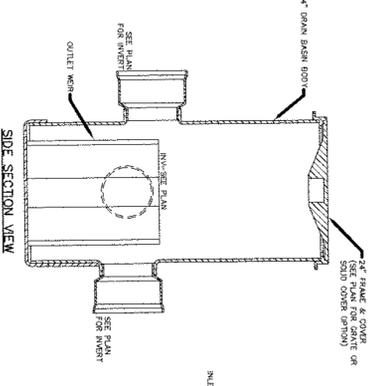
**SC-740 ISOLATOR ROW DETAIL**

N.T.S.



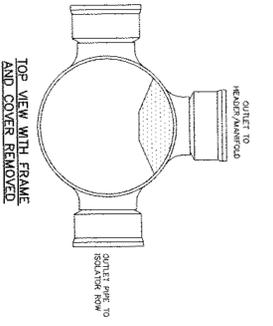
**SC-740 INSPECTION PORT DETAIL**

N.T.S.

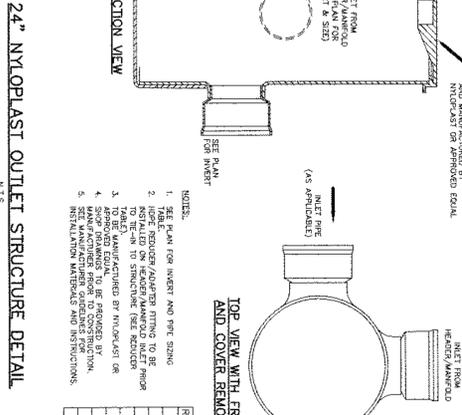


**NM/PLAST DIVERSION STRUCTURE DETAIL**

N.T.S.

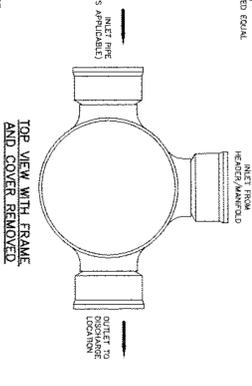


- NOTES:**
1. SEE PLAN FOR WEB BENCH ELEVATION.
  2. HEIGHT OF ROW TO BE FRAME BASE OF STRUCTURE TO WEB.
  3. TO BE MANUFACTURED BY NIMPLAST CONSULTING P.A.
  4. TO BE MANUFACTURED BY NIMPLAST CONSULTING P.A.
  5. TO BE MANUFACTURED BY NIMPLAST CONSULTING P.A.



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N.T.S.



- NOTES:**
1. SEE PLAN FOR INLET AND PIPE SIZING.
  2. HOSE REDUCER/ADAPTER FITTING TO BE 1/2\"/>
  3. TABLE MANUFACTURED BY NIMPLAST OR APPROVED EQUAL.
  4. APPROVED EQUAL TO BE PROVIDED BY MANUFACTURER PRIOR TO CONSTRUCTION.
  5. TO BE MANUFACTURED BY NIMPLAST CONSULTING P.A.

REDUCER/ADAPTER TABLE	REDUCER
SYSTEM 1	REDUCER
ROOF	12" X 8"
A	12" X 8"
B	12" X 8"
C	12" X 8"
D	12" X 8"
E	12" X 8"
F	12" X 8"
G	12" X 8"



STORMTECH CONSULTING P.A.  
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DENVER, CO 80202  
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WWW.STORMTECH.COM



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**HAUPTON INN & SUITES**  
FOR  
**MARTIN MILANO**  
TAX LOT  
95-1-45.12  
TOWN OF NEMUBIRGH, ORANGE COUNTY, N.Y.

DATE: 07/27/15  
PROJECT NUMBER: 12000031B

