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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: 182 SOUTH PLANK ROAD- AMENDED SITE PLAN
PROJECT NO.: 19-08
PROJECT LOCATION: SECTION 64, BLOCK 2 LOT 8.21
REVIEW DATE: 30 MAY 2019
MEETING DATE: 6 JUNE 2019
PROJECT REPRESENTATIVE: MASER CONSULTING

1. The Applicants have advised that the project received variances from ZBA at the 25 April 2019 meeting.
2. Orange County Planning comments have been received with no comments.
3. No response from NYSDOT has been received based on the Town's submission to the NYSDOT. Access drive locations are in the same location as previously approved.
4. The Board should determine whether a Public Hearing is to be held for the amended site plan.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal
PJH/lcr



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

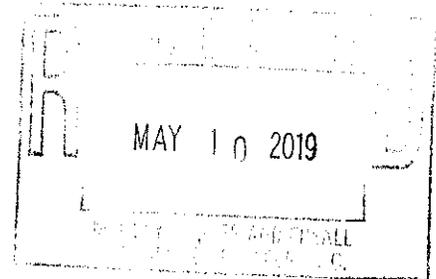
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May 10, 2019

VIA HAND DELIVERY

Chairman John Ewasutyn
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: 182 South Plank Road
SBL: 64-2-8.21
Town of Newburgh, Orange County, New York
MC Project No. 06001329B



Dear Chairman Ewasutyn:

Below please find our responses to a comment letter received from McGoey, Hauser and Edsall dated March 1, 2019. The comments have been repeated here for clarity.

Comment 1: The project was previously before the Board for approval of a 3,000 square foot eating and drinking establishment with 20 parking spaces. This approval was granted on 14 October 2010. Construction began on the site however has not been completed.

Response 1: Comment noted.

Comment 2: The original proposed structure was a one story deli type use, the current proposal is for a two story office building use.

Response 2: Comment noted.

Comment 3: The As-Built construction identifies that the building does not comply with previously granted variances. The variance for Route 52 front yard setback was granted for 15.5 feet where 60 was required. The structure has been constructed at 14.1 feet, a difference of 1.4 feet. The Old South Plank Road front yard setback variance was granted for 27.7 feet where 40 feet is required. The As-Built condition identifies the building at 25.5, a difference of 0.2 feet.

Response 3: The project applied to the Zoning Board of Appeals and the above variances were granted at their April 25, 2019 meeting. Final resolution document is pending.



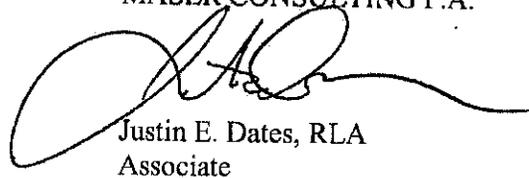


- Comment 4: A review of the site identifies numerous proposed free standing signs. Signs must be located 15 feet off the property line, variance may be required for signage. Compliance with updated signing ordinances will be required at Building Permit.
- Response 4: The former freestanding sign has been removed from the site plan. The applicant will pursue a code compliant sign package at building permit.
- Comment 5: Coordination with NYSDOT and County Planning referral is required.
- Response 5: A response has been received from County Planning which concluded they have no advisory comments on the application (Copy of letter attached). NYSDOT response is still pending.
- Comment 6: Revised architectural review must be undertaken for the proposed two story structure.
- Response 6: The original submission included the updated architectural plans for the project. The proposed modification to the existing building is the addition of dormers on the west end of the building to create the 2nd floor. All exterior finishes will match the existing building.
- Comment 7: A review of additional site details will be undertaken once project returns from the ZBA.
- Response 7: Attached please find the updated site plan set which details the proposed site construction.

If you have any questions, please feel free to call me at 845.564.4495, extension 3804.

Very truly yours,

MASER CONSULTING P.A.



Justin E. Dates, RLA
Associate

JED/paw
Enclosures



Steven M. Neuhaus
County Executive

Orange County Department of Planning

124 Main Street
Goshen, NY 10924-2124
Tel: (845) 675-3840
Fax: (845) 291-2533

David E. Church, AICP
Commissioner

www.orangecounty.gov/planning
planning@orangecounty.gov

County Reply – Mandatory Review of Local Planning Action as per NYS General Municipal Law §239-l, m, &n

Local Referring Board: Town of Newburgh Planning Board

Referral ID #: NBT 13-19M

Applicant: Farrell Building Co.

Tax Map #: 64-2-8.21

Project Name: 182 South Plank Rd Amended Site Plan

Local File #: 2019-08

Proposed Action: Site Plan Amendment to allow previously approved new construction single-story 3,000 sq. ft. restaurant use to be converted to two-story 3,850 sq. ft. office use

Reason for County Review: Within 500 feet of NYS Route 52

Date of Full Statement: March 13, 2019

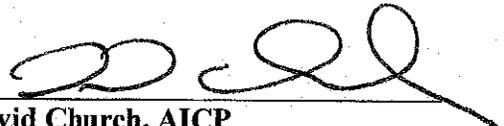
Comments:

The Department has received the above referenced site plan and has found no evidence that significant intermunicipal or countywide impacts would result from its approval. We have no advisory comments regarding this application.

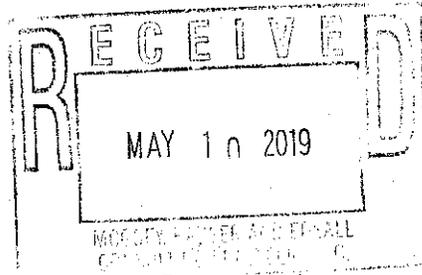
County Recommendation: Local Determination

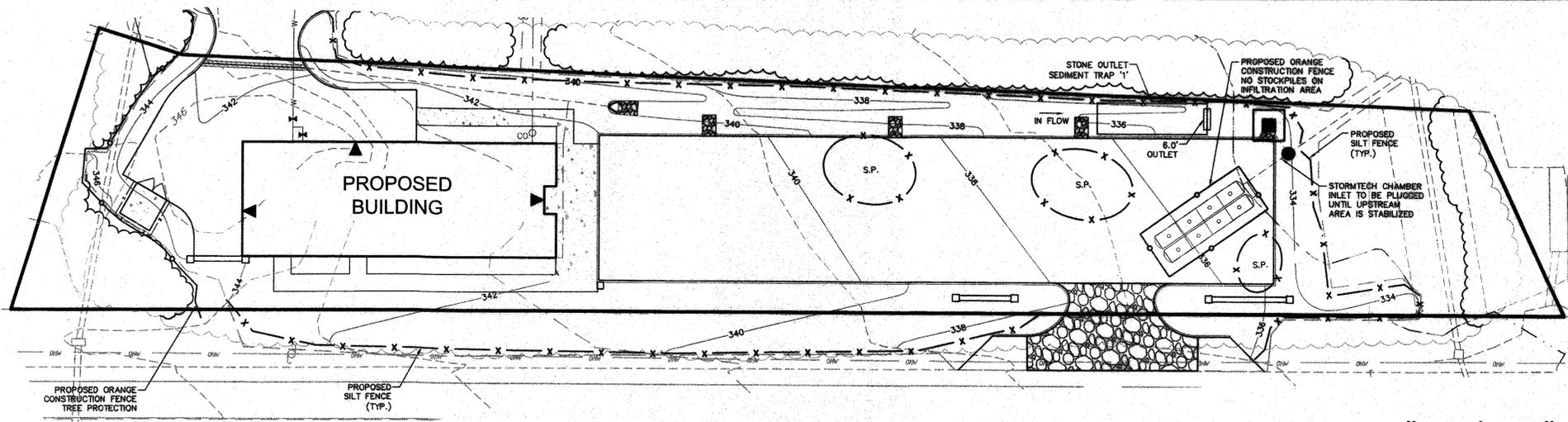
Date: April 11, 2019

Prepared by: Megan Tennermann, AICP, Planner

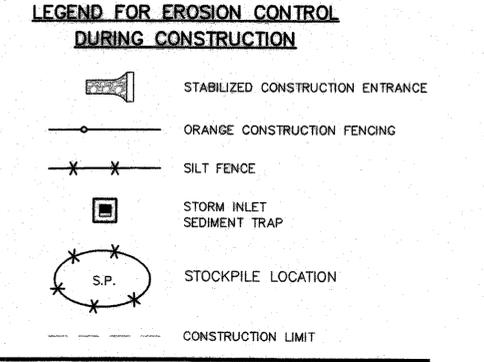

David Church, AICP
Commissioner of Planning

As per NYS General Municipal Law 239-m & n, within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at www.orangecounty.gov/planning.

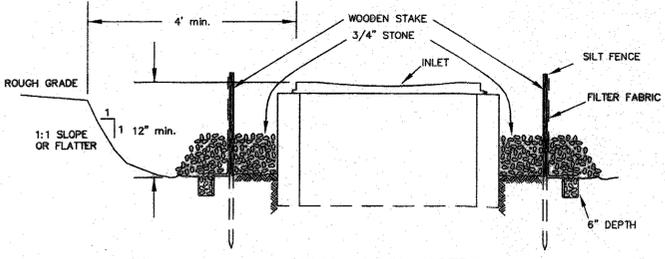




- ### TREE PROTECTION NOTES:
- TREE PROTECTION FENCING TO BE INSTALLED ALONG THE DISTURBANCE LIMIT LINE WHEREVER CONSTRUCTION FENCING IS NOT PROPOSED.
 - THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS OUTSIDE CLEARING LIMITS. NO EQUIPMENT IS PERMITTED OUTSIDE CLEARING LIMITS.
 - THE FENCING SHOULD REMAIN IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION PERIOD.
 - IF EXISTING VEGETATION IS DAMAGED OR DESTROYED, IT MUST BE REPLACED. TREE REPLACEMENT SHALL BE REQUIRED THAT IS EQUAL TO THE BASAL AREA OF ANY TREES CLEARED WITHOUT AUTHORIZATION WITHIN PROTECTED AREAS. IF IT IS NECESSARY TO CLEAR, REMOVE TREES OR WORK WITHIN PROTECTED AREAS, WRITTEN PERMISSION FROM THE TOWN OF MONTGOMERY MUST BE RECEIVED BEFORE STARTING.



NOTE: THIS PLAN IS TO BE USED FOR SOIL EROSION CONTROL PURPOSES ONLY

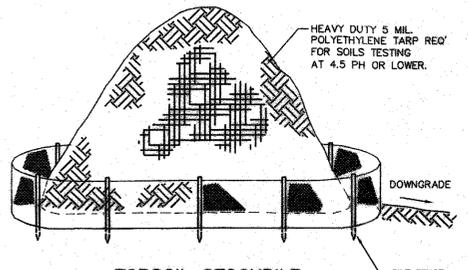


INSTALLATION NOTES

- EXCAVATE A 6 INCH x 6 INCH TRENCH, OFFSET APPROXIMATELY 2 FEET FROM THE INLET PERIMETER.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
- DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
- LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
- JOIN SECTIONS AS SHOWN ABOVE. SUPPLEMENT WITH GRAVEL, PILED AGAINST THE FENCE.
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

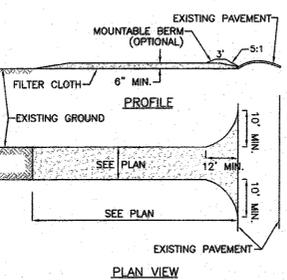
STORM INLET SEDIMENT TRAP

N.T.S.



TOPSOIL STOCKPILE

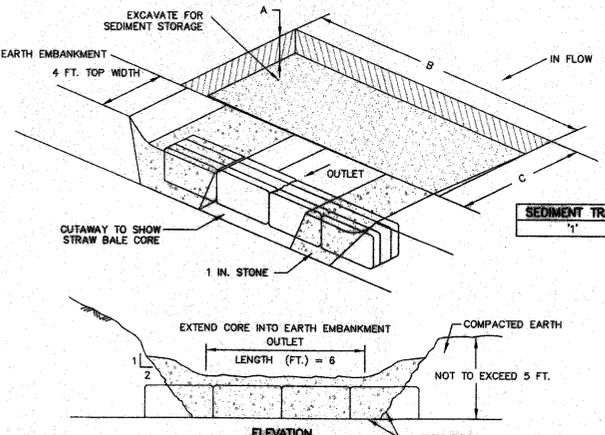
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET
- THICKNESS - NOT LESS THAN (6) INCHES. WIDTH - 24"
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



ELEVATION

TO BE INSTALLED PRIOR TO GRADING OR FILLING IN THE DRAINAGE AREA THEY ARE TO PROTECT. TRAPS THAT ARE TO FUNCTION DURING BUILDING CONSTRUCTION MUST NOT BE LOCATED WITHIN 20 FEET OF A PROPOSED BUILDING FOUNDATION. WHILE TRAPS SHOULD BE SITED TO MAXIMIZE STORAGE BENEFIT, THEY SHOULD NOT BE LOCATED WETLAND OR WETLAND BUFFER AREAS, OR IN EXISTING WATERCOURSES.

DRAINAGE AREA: 0.31 ACRES
VOLUME REQUIRE: 1,194 C.F.
VOLUME PROVIDED: 1,192 C.F.

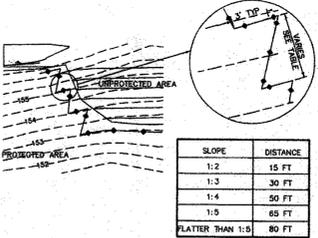
SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATION.

INSTALLATION NOTES

- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED AS WELL.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER SIZED STONES, ROCKS, ORGANIC MATERIAL AND OTHER QUESTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
- THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL CUT AND FILL SLOPES SHALL BE 1:2 OR FLATTER.
- THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.

STONE OUTLET SEDIMENT TRAP

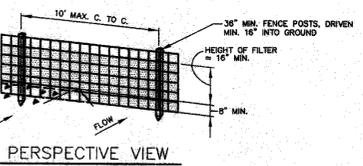
N.T.S.



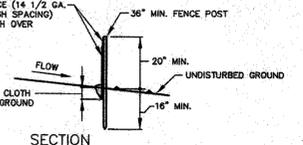
SILT FENCE INSTALLATION

(WHEN NOT PARALLEL TO CONTOURS)

N.T.S.



PERSPECTIVE VIEW



SECTION

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

WIRE REINFORCED SILT FENCE

N.T.S.

SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL

- THE FOLLOWING SEQUENCE IS TO BE PERFORMED FOR CONSTRUCTION. ALL SILT FENCE SHOWN ON PLAN MUST BE INSTALLED PRIOR TO CONSTRUCTION.
- CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCE(S) AS SHOWN.
- CLEAR TREES AND VEGETATION AS SHOWN TO CONSTRUCT PROPOSED STORMWATER DRAINAGE. CONSTRUCT TEMPORARY SEDIMENT TRAPS.
- GRUB STUMPS FOR THE PROPOSED DRIVEWAYS, BUILDING AND PARKING AREAS AND DRAINAGE IMPROVEMENTS.
- THE LOW INVERT OF THE DRAINAGE MANHOLE USED TO DIRECT RUNOFF INTO THE STORMTECH INFILTRATION CHAMBERS SHOULD BE PLUGGED DURING CONSTRUCTION TO PREVENT SEDIMENT FROM ENTERING THE UNDERGROUND CHAMBERS.
- STABILIZATION* - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
* STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIPRAP, OR GABIONS) PER SPOES GENERAL PERMIT FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITY, GP-0-10-001.
- MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENT POUNDS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY.
- PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
- AFTER COMPLETION OF THE SITE CONSTRUCTION, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED.
- AFTER STABILIZATION HAS BEEN ESTABLISHED, PAVE (BASE COURSE) ROADWAY AND PARKING LOTS.
- CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES INCLUDING PLUGS PROTECTING STORMTECH INFILTRATION CHAMBERS.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- SILT THAT HAS ACCUMULATED IN TEMPORARY SEDIMENT BASIN OR TRAPS IS TO BE REMOVED WHEN BASIN IS FILLED IN TO 25% OF PROVIDED DEPTH.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
- THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE FOURTEEN (14) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- PERMANENT VEGETATION TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING WHEN HYDROSEEDING. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, COVERING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE AND MUNICIPAL STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BEFORE STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER, AND SHALL BECOME THEIR RESPONSIBILITY.
- PAYMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
- DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.

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State of N.Y. Certificate of Authorization: 0008671 / 0008621

811
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REV	DATE	DRAWN BY	DESCRIPTION
1	01/22/19	CSB	ISSUED PERMANENT DESIGN
2	05/09/19	CSB	REVISED SITE PLANS FOR PLANNING BOARD SUBMISSION

JUSTIN E. DATES
NEW YORK REGISTERED
LANDSCAPE ARCHITECT - LICENSE NUMBER: 001964

AMENDED SITE PLAN
FOR
FARRELL BUILDING COMPANY

SECTION 64
BLOCK 2
LOT 8.21

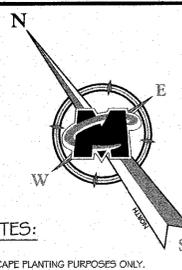
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

NEW WINDSOR OFFICE
355 Hudson Valley Avenue
Suite 10
New Windsor, NY 12553
Phone: 845.564.4495
Fax: 845.567.1025

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	01/22/19	CSB	JED
PROJECT NUMBER:	DRAWING NAME:	SMB	
060013298	C-SEC		

SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
2 of 7



GENERAL PLANTING NOTES:

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE CONSULTANT FOR THE TOWN OF NEWBURGH. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 10' FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN OR INSTALLED WITH PHYSICAL BARRIER.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 8'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF CURB. ALL STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHES BELOW 10'-0". THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.

- ALL PLANT MATERIAL SHALL BE PROPERLY INSTALLED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURDLE TOP ONE-THIRD OF THE ROOT BALL. WIRE BASKETS AND AND NOT JUTE BURLAP SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING THE PLANT PIT.
- BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
 - ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT NURSERY.
 - OPTIMUM PLANTING TIME: DECIDUOUS - APRIL 1 TO JUNE 1 & OCTOBER 15 TO DECEMBER 15. CONIFEROUS - APRIL 1 TO JUNE 1 & SEPTEMBER 1 TO NOVEMBER 1.
 - NEVLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
 - ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
 - THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 6" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED. SOIL PH SHOULD BE 5.5-6.5.
 - ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SOD SHALL CONSIST OF A NEW YORK CERTIFIED MIXTURE. SEED SHALL BE IN ACCORDANCE WITH THE LOCAL SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN. ALL DISTURBED LAWN AREAS SHALL BE TOPSOILED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION.
 - ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
 - ALL SHRUB MASSSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
 - ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. ALL FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING OR CLEARING. ALL EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TIELINE, SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DISEASED, OR DAMAGED BRANCHES.
 - ALL PLANTING DEBRIS (WIRE, TWINE, RUBBER HOSE, BACKFILL ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. PROPERTY IS TO BE LEFT IN A NEAT ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

811 PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF
 EXCAVATORS, DESIGNERS, OR ANY PERSON
 BEFORE TO OBTAIN THE RIGHT TO
 SURFACE ANYWHERE IN ANY STATE

Know what's below.
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DATE	DESCRIPTION	BY
03/19/17	REVISIONS	CSA
05/09/17	REVISIONS	DHS
05/09/17	REVISIONS	DHS

JUSTIN E. DATES
 NEW YORK REGISTERED
 LANDSCAPE ARCHITECT - LICENSE NUMBER: 001964

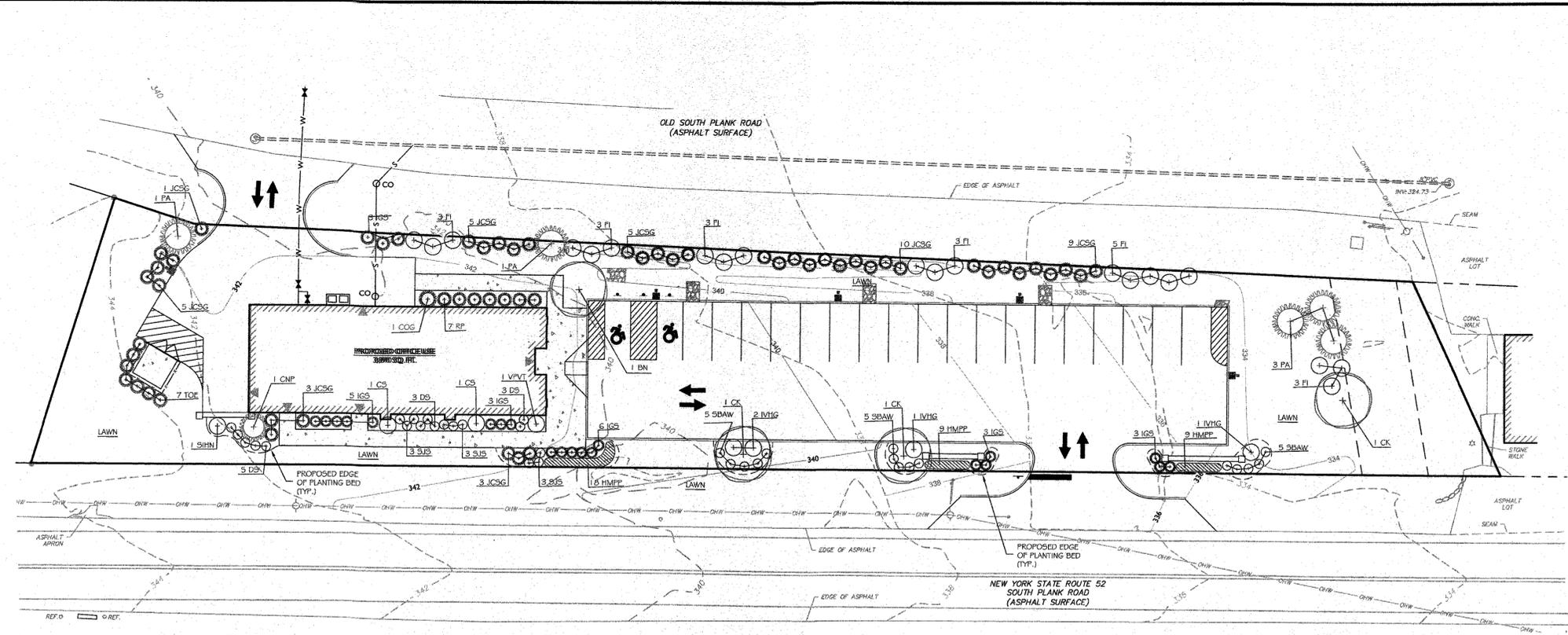
AMENDED SITE PLAN
 FOR
FARRELL BUILDING COMPANY

SECTION 64
BLOCK 2
LOT 8.21

TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

NEW WINDSOR OFFICE
 555 Hudson Valley Avenue
 Suite 101
 New Windsor, NY 12553
 Phone: 845.564.4495
 Fax: 845.567.1025

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	01/22/2019	XXXXXX	XXXXXX
PROJECT NUMBER:	060013296	DRAWING NAME:	C-LAND
SHEET TITLE: LANDSCAPE PLAN			
SHEET NUMBER: 3 of 7			



PLANT SCHEDULE								
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD	ROOT	REMARKS
ORNAMENTAL TREES								
BN	1	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	8 - 10'			B & B	CLUMP/FULL HEAD
CK	3	CORNUS KOUSA	KOUSA DOGWOOD	6 - 7'			B & B	SINGLE LEADER/FULL HEAD
EVERGREEN TREES								
CNP	1	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping ALASKAN CEDAR	6 - 8'			B & B	SHEARDMATCHED
COG	1	CHAMAECYPARIS OBTUSA 'GRACIOS'	SLENDER THINOKI CYPRUS	4 - 5'			B & B	SHEARDMATCHED
FA	5	PICCA ASIES	NORWAY SPRUCE	6 - 7'			B & B	SHEARDMATCHED
TOE	7	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	5 - 6'			CONT.	SHEARDMATCHED
SHRUBS								
CS	2	CORNUS SERICEA	REDOSIER DOGWOOD	30 - 36"			CONT.	TYPICAL SPECIES HABIT
DS	10	DIUTZIA SCABRA 'PINK MINOR'	PINK MINOR FLUZZY DEUTZIA	18 - 24"			CONT.	TYPICAL SPECIES HABIT
FI	20	FORSYTHIA INTERMEDIA	COMMON FORSYTHIA	4 - 5'			CONT.	TYPICAL SPECIES HABIT
IGS	23	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERY HOLLY	24 - 30"			CONT.	TYPICAL SPECIES HABIT
JCSG	41	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	30 - 36"		30 - 36"	CONT.	TYPICAL SPECIES HABIT
LVHG	4	ITEA VIRGINICA 'HENRIS GARNET'	HENRIS GARNET VIRGINIA SWEETSPICE	30 - 36"			CONT.	TYPICAL SPECIES HABIT
RF	7	RHOODOENDRON 'FIM'	FIM RHOODOENDRON	24 - 30"			CONT.	TYPICAL SPECIES HABIT
SHH	1	SALIX INTEGRIFOLIA 'TAKURO NISHIKI'	DAFFLED WILLOW	30 - 36"			CONT.	TYPICAL SPECIES HABIT
SBAW	15	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18 - 24"			CONT.	TYPICAL SPECIES HABIT
SJS	9	SPIRAEA JAPONICA 'SHIROBANA'	SHIROBANA SPIREA	18 - 24"			CONT.	TYPICAL SPECIES HABIT
VPVT	1	VIBURNUM PLICATUM VAR. TOMENTOSUM	DOUBLEFILE VIBURNUM	30 - 36"			CONT.	TYPICAL SPECIES HABIT
PERENNIALS								
HMPF	36	HEUCHERA MICRANTHA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS				#1 CONT.	CLUMPS, 24" O.C.

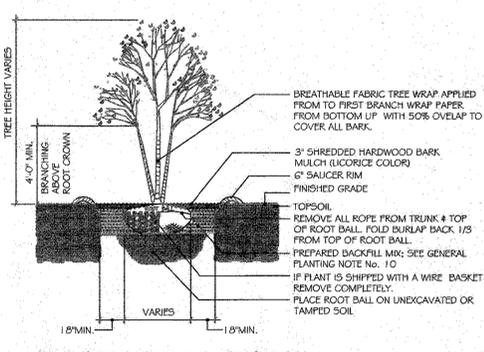
LANDSCAPE PLAN NOTES:

- THESE PLANS ARE TO BE USED FOR LANDSCAPE PURPOSES ONLY.
- LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED OUTLINES IS APPROXIMATE AND MAY VARY DUE TO FINAL LOCATIONS OF SITE IMPROVEMENTS AND/OR BUILDING.
- FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED OUTLINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- ALL AREAS WITHIN THE PLANTING BED LIMITS SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD BARK.
- LAWN AREAS AROUND BUILDING SHALL BE STABILIZED WITH SOD. WHILE OTHER LAWN AREAS SHALL BE STABILIZED WITH SEED.
- MAINTAINED LAWN AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IN-GROUND IRRIGATION SYSTEM AS REQUIRED. EXTENT OF COVERAGE AND ACTUAL CONFIGURATION OF THE SYSTEM WILL BE DETERMINED IN THE FIELD BY THE IRRIGATION CONTRACTOR.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE CONSULTANT FOR THE TOWN OF NEWBURGH.

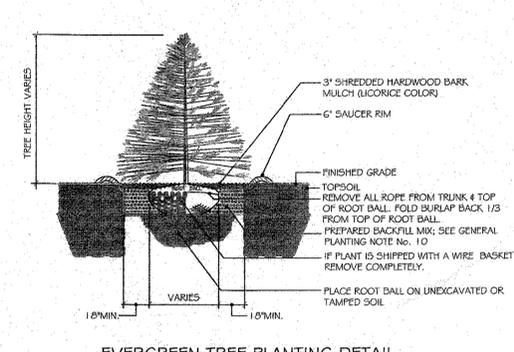
GENERAL SEEDING NOTES:

- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
- PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31; AND AUGUST 16 AND OCTOBER 15.

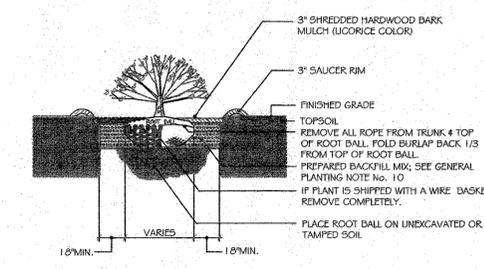
MIXTURE -	HARD FESCUE	150 LBS/ACRE
	PERENNIAL RYE GRASS	30 LBS/ACRE
	KENTUCKY BLUE GRASS (BLEND)	40 LBS/ACRE
MIXTURE -	TALL FESCUE	160 LBS/ACRE
	PERENNIAL RYE GRASS (BLEND)	20 LBS/ACRE
	KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
- PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE, SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 5.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 1.4# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 90# PER 1000 SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 135# PER 1000 SF.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
- MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTILL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.



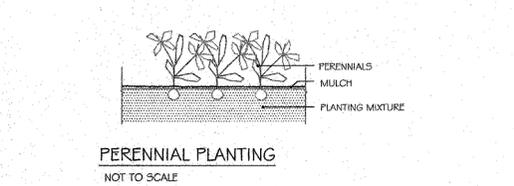
MULTI-STEM TREE PLANTING DETAIL
 NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
 NOT TO SCALE



SHRUB PLANTING DETAIL
 NOT TO SCALE

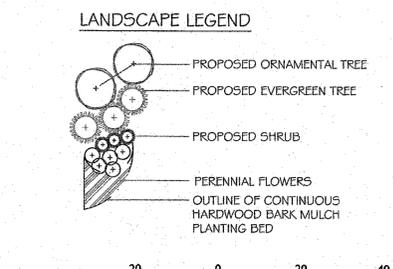


PERENNIAL PLANTING
 NOT TO SCALE

LANDSCAPE LEGEND

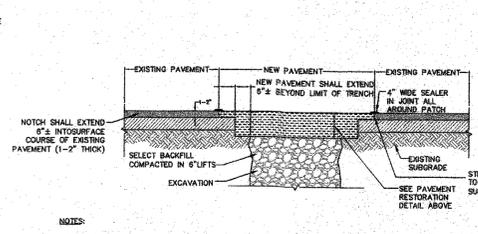
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- PERENNIAL FLOWERS
- OUTLINE OF CONTINUOUS HARDWOOD BARK MULCH PLANTING BED

- CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF PIT DOESN'T PERCOLATE, MEASURES MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
- PLANTING MUST BE GUARANTEED FOR TWO FULL GROWING SEASONS FROM THE TIME OF FINAL ACCEPTANCE BY THE TOWN OF NEWBURGH LANDSCAPE CONSULTANT. CONTRACTOR SHALL REMOVE WRAPPING AT THE END OF GUARANTEE PERIOD.
- BACKFILL MIXTURE TO BE SPECIFIED BASED UPON SOIL TEST AND CULTURAL REQUIREMENTS OF PLANT.
- PRUNE DAMAGED AND CONFLICTING BRANCHES MAINTAINING NORMAL TREE SHAPE. NEVER CUT CENTRAL TRUNK OR LEADER.
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. MULCH SHALL NOT TOUCH THE TREE TRUNK.
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
- WIRE BASKETS AND NON-JUTE BURLAP MUST BE ENTIRELY REMOVED FROM THE ROOT BALL. JUTE BURLAP MUST BE REMOVED FROM THE TOP 1/3 OF THE ROOT BALL.
- DEPTH OF PLANT PIT SHALL BE INCREASED BY 12" WHEREVER POOR SOIL CONDITIONS OCCUR, WITH THE ADDITION OF LOOSE AGGREGATE.

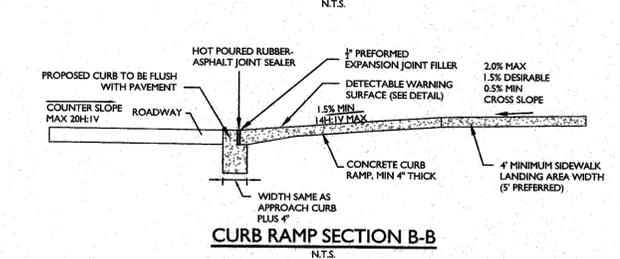
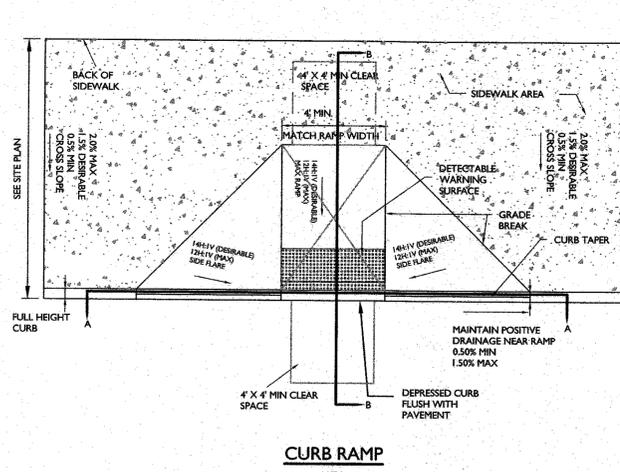
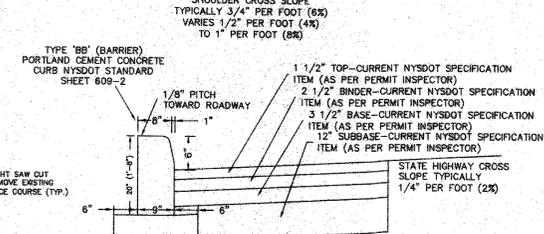


CONSTRUCTION NOTES:

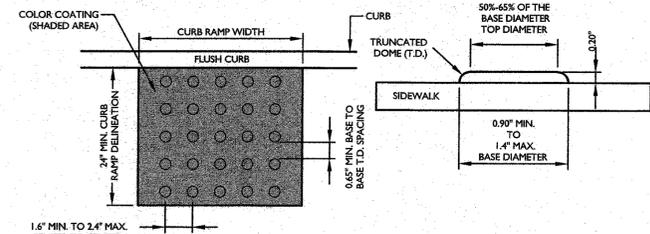
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES - GAS, WATER, ELECTRICAL BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL 1-800-982-7862
2. EROSION CONTROL MEASURES WILL BE REQUIRED AS PER NYSDEC AND THE TOWN OF NEWBURGH.
3. AS BUILT PLANS SHALL BE REQUIRED AND CERTIFIED BY A N.Y. STATE LICENSED PROFESSIONAL SURVEYOR.
4. ALL PROPERTY DISTURBED IN THE R.O.W. OR ON PRIVATE LANDS, SHALL BE RESTORED TO NEW CONDITIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
6. THE SITE IMPROVEMENTS SHALL BE STAKED IN THE FIELD BY A N.Y. STATE LICENSED SURVEYOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF THE SITE DURING CONSTRUCTION. THE OWNER IS RESPONSIBLE FOR MAINTAINING A SAFE SITE THROUGH PROPER MAINTENANCE THEREAFTER.



- NOTES:**
1. CONTRACTOR MUST PROVIDE CERTIFICATION THAT THE ROAD OPENING REPAIR WAS PERFORMED IN CONFORMANCE WITH THIS DETAIL. THIS MAY BE ACCOMPLISHED BY EITHER:
 - a. PROVIDE CERTIFICATION FROM A N.Y.S. LICENSED PROFESSIONAL ENGINEER CERTIFYING THAT THE MATERIALS AND CONSTRUCTION OF THE ROAD OPENING REPAIR CONFORM TO THE TOWN DETAIL.
 - b. COORDINATE WITH THE TOWN ENGINEERING CONSULTANT AND/OR HIGHWAY SUPERINTENDENT TO SCHEDULE THEIR WITHDRAWAL OF THE CONSTRUCTION (THE TOWN WILL IN TURN BACK CHARGE THE CONTRACTOR FOR THE COST OF THE ENGINEERING CONSULTANT'S SERVICES). THE ENGINEERING CONSULTANT WILL PROVIDE THE REQUIRED CERTIFICATION.



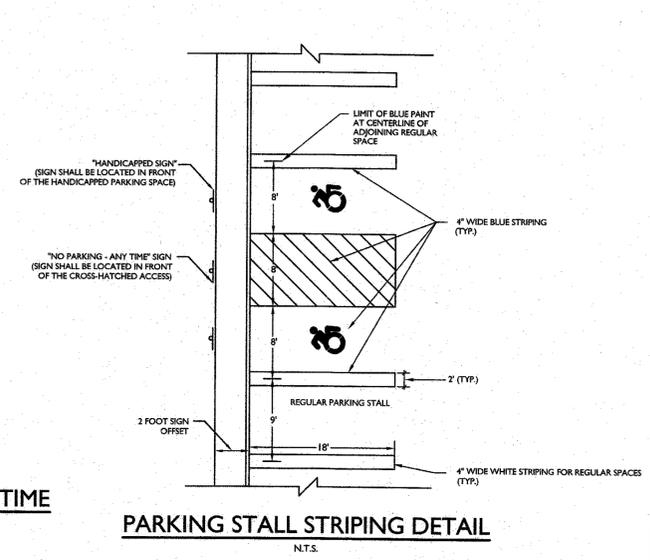
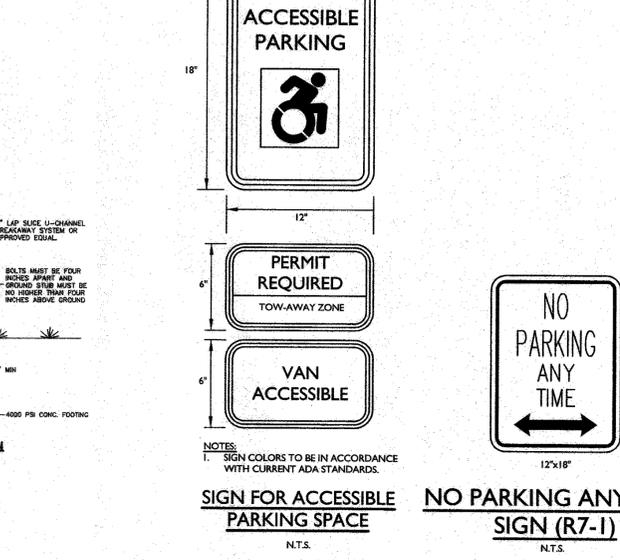
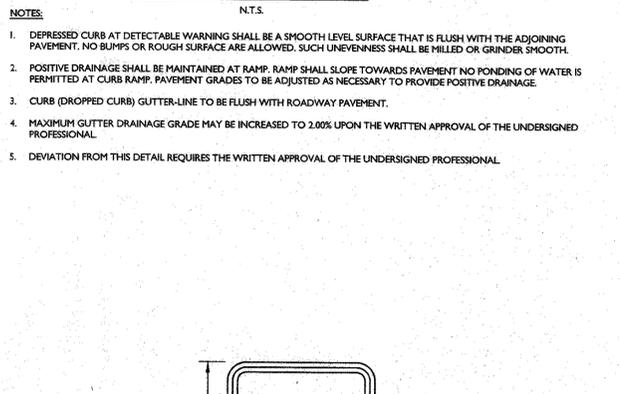
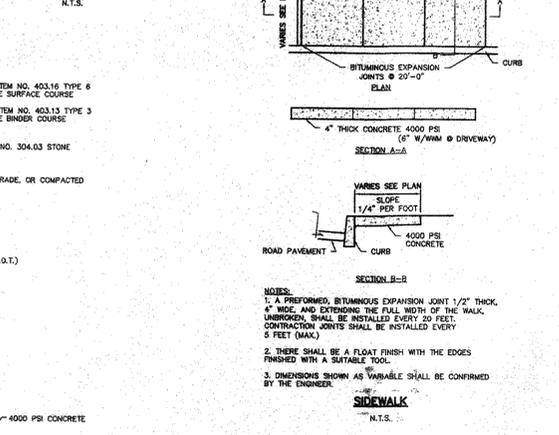
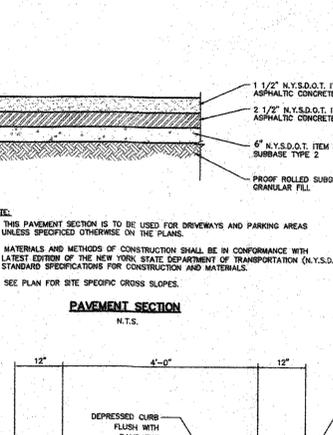
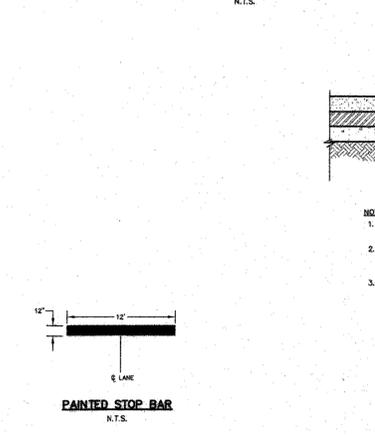
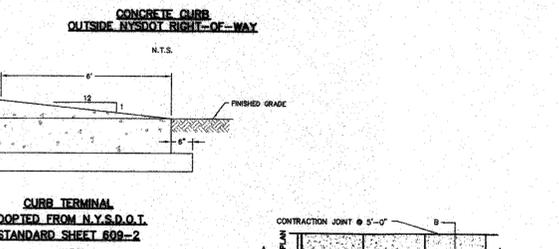
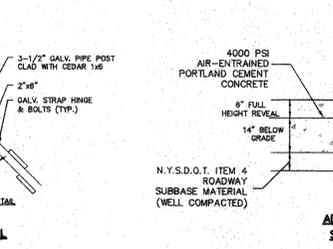
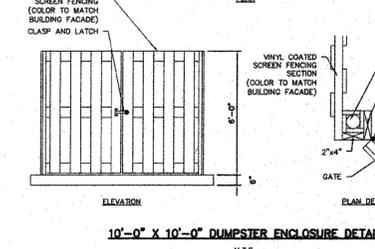
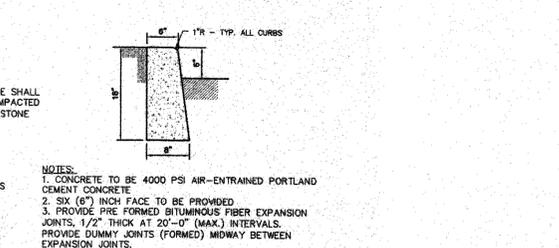
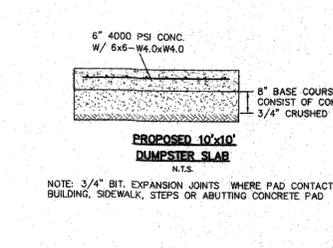
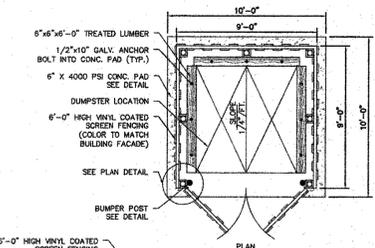
- NOTES:**
1. DEPRESSED CURB AT DETECTABLE WARNING SHALL BE A SMOOTH LEVEL SURFACE THAT IS FLUSH WITH THE ADJOINING PAVEMENT. NO BUMPS OR ROUGH SURFACE ARE ALLOWED. SUCH UNEVENNESS SHALL BE FILLED OR GRINDER SMOOTH.
 2. POSITIVE DRAINAGE SHALL BE MAINTAINED AT RAMP. RAMP SHALL SLOPE TOWARDS PAVEMENT NO PONDING OF WATER IS PERMITTED AT CURB RAMP. PAVEMENT GRADES TO BE ADJUSTED AS NECESSARY TO PROVIDE POSITIVE DRAINAGE.
 3. CURB (DROPPED CURB) GUTTER-LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
 4. MAXIMUM GUTTER DRAINAGE GRADE MAY BE INCREASED TO 2.00% UPON THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.
 5. DEVIATION FROM THIS DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.



- NOTES:**
1. THE DETECTABLE WARNING SURFACE SHALL BE MANUFACTURED MATS THAT ARE EMBEDDED AND CAST-IN-PLACE IN THE CONCRETE.
 2. IN LIEU OF A CAST IN PLACE DETECTABLE WARNING SURFACE, THE CONTRACTOR MAY UTILIZE A SURFACE APPLIED DETECTABLE WARNING SURFACE WITH PRIOR APPROVAL OF THE UNDERSIGNED ENGINEER AND PRIOR TO POURING OF THE CONCRETE RAMP.
 3. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SHOP DRAWING OF THE DETECTABLE WARNING SURFACE PRIOR TO CONSTRUCTION FOR APPROVAL.
 4. THE CONTRACTOR SHALL PROVIDE A MANUFACTURER CERTIFICATION THAT THE DETECTABLE WARNING SURFACE COMPLIES WITH THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE DEPARTMENT OF JUSTICE AND THE ADA STANDARDS AS SUPPORTED BY THE UNITED STATES ACCESS BOARD, AND THE STATE AND/OR LOCAL ADA STANDARDS.
 5. SAFETY RED SHALL BE APPROVED BY THE LOCAL JURISDICTION PRIOR TO INSTALLATION. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. ALTERNATIVE COLOR MAY BE USED PROVIDED SUCH COLOR COMPLIES WITH CURRENT ADA STANDARDS.
 6. DETECTABLE WARNINGS SHALL CONSIST OF A SURFACE OF TRUNCATED DOMES AND SHALL COMPLY DETECTABLE WARNINGS.
 7. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER OF 0.9 INCH (23 mm) MINIMUM AND 1.4 INCHES (36 mm) MAXIMUM. A TOP DIAMETER OF 50 PERCENT OF THE BASE DIAMETER MINIMUM TO 45 PERCENT OF THE BASE DIAMETER MAXIMUM, AND A HEIGHT OF 0.2 INCH (5.1 mm).
 8. TRUNCATED DOMES IN DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6 INCHES (41 mm) MINIMUM AND 2.4 INCHES (61 mm) MAXIMUM, AND A BASE-TO-BASE SPACING OF 0.65 INCH (17 mm) MINIMUM, MEASURED BETWEEN THEIR MOST ADJACENT DOMES ON A SQUARE GRID.



- CURB RAMP NOTES:**
1. THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
 2. LANDING AREA, APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
 3. CURB (DROPPED CURB) GUTTER-LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
 4. CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DENOTED ON SITE PLAN.
 5. MAXIMUM RAMP SLOPE MAY BE 12:1 UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 10:1 UPON THE APPROVAL OF THE ENGINEER.
 6. MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50% OR THE MAXIMUM RAMP CROSS-SLOPE MAY BE 2.00% UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPE MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.
 7. ACCESSIBLE RAMP SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN EFFECT AT THE DATE OF CONSTRUCTION.
 8. DEVIATION FROM THE CURB RAMP DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
 9. THE RAMP SURFACE SHALL BE A NON-SLIP, HAND BROOMED FINISH OF CONCRETE SURFACES.
 10. CONCRETE EXPANSIONS JOINTS SHALL BE FIRM SURFACES, WITH CONCRETE EDGES 1/4" BEVELED, AND WITH THE JOINT SURFACE NOT MORE THAN 1/4" BELOW THE ADJOINING CONCRETE SURFACE.
 11. CURB RAMP MUST BE WHOLLY CONTAINED WITHIN THE CROSSWALK CROSSING.
 12. THE CLEAR SPACE SHALL BE INCREASED TO 5 FEET WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF THE SIDEWALK.
 13. ON CURVED CROSSWALKS, THE MAXIMUM SEPARATION BETWEEN THE CURB AND DETECTABLE WARNING SURFACE SHALL NOT EXCEED 5 FEET. THE MAXIMUM SEPARATION AREA MAY BE WITHIN THE 4' BY 4' CLEAR ZONE. A SHOP DRAWING SHALL BE SUBMITTED PRIOR TO CONSTRUCTION FOR APPROVAL.



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REV	DATE	DESCRIPTION
1	01/19/19	CRK
2	02/07/19	SPB

JUSTIN E. DATES
NEW YORK REGISTERED
LANDSCAPE ARCHITECT - LICENSE NUMBER: 001964

AMENDED SITE PLAN
FOR
FARRELL BUILDING COMPANY
SECTION 64
BLOCK 2
LOT 8.21
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

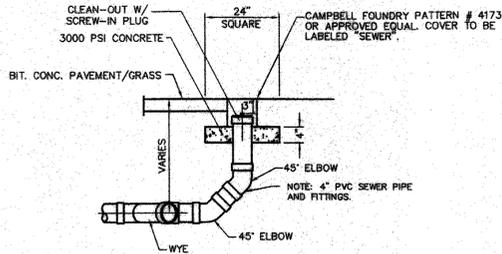
NEW WINDSOR OFFICE
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4995
Fax: 845.567.1025

DATE: 01/22/2019
DRAWN BY: SPB
CHECKED BY: JED
PROJECT NUMBER: 060013298
DRAWING NAME: C-DTL5

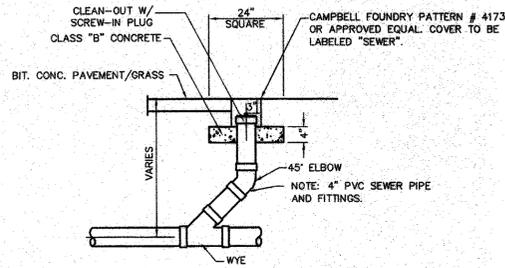
CONSTRUCTION DETAILS
5 of 7

TOWN WATER SYSTEM NOTES

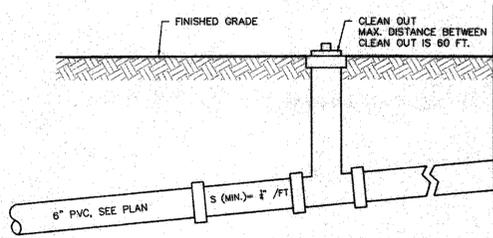
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALLOS SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C118/A21.10-87 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53-94 FOR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCK WISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-415 OR EQUAL. TAPPING VALVE SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORROSION STOPS SHALL BE MUELLER H-15020 FOR 1/2 AND 1 INCH, MUELLER H-15000 OR B-25000 FOR 1 1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2 FOR 1/2 AND 1 INCH AND MUELLER B-2520-4 FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10312 FOR 1/2 AND 1 INCH AND MUELLER H-10310 FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THRUST RESTRAINT SHALL BE PROVIDED BY THE ROOS AND RETAINER GLANDS. THE LENGTH OF RESTRAINED PIPE SHALL BE DETERMINED BASED UPON WORKING PRESSURES, SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO DIPPA STANDARDS.
- PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
- DISINFECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 - YEAR OF LATEST REVISION STANDARDS.
- ALL WATER MAINS SHALL BE 8", CLASS 52, DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.



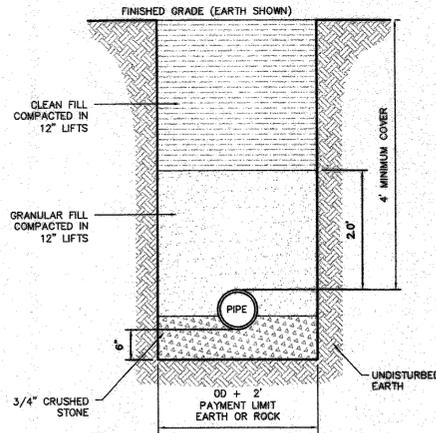
SANITARY SEWER CLEANOUT AT BEND
N.T.S.



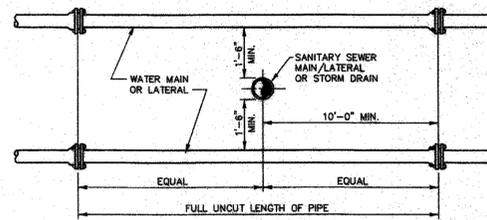
SANITARY SEWER CLEANOUT INLINE
N.T.S.



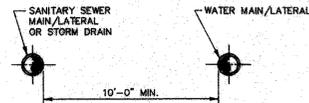
SANITARY SERVICE CONNECTION
N.T.S.



SANITARY SEWER TRENCH & PIPE BEDDING DETAIL
N.T.S.



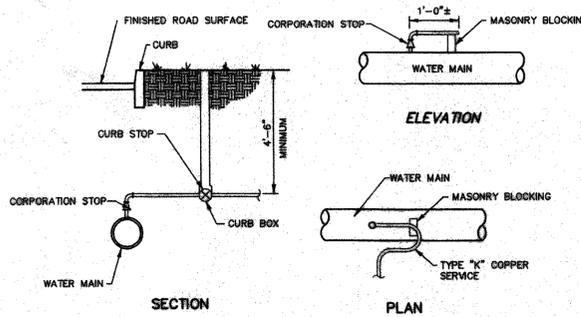
VERTICAL SEPARATION



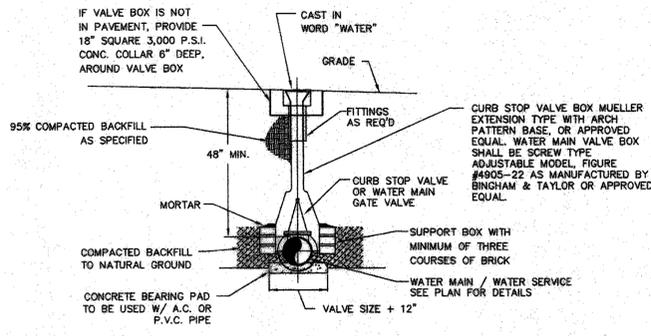
HORIZONTAL SEPARATION

NOTE: NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.

SANITARY/STORM SEWER-WATER MAIN SEPARATION DETAIL
N.T.S.

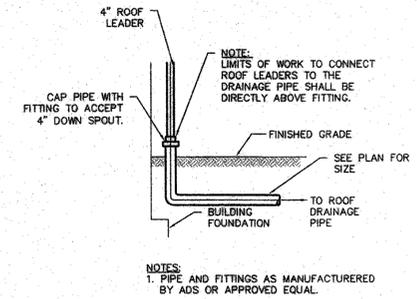


TYPICAL POTABLE WATER SERVICE DETAIL
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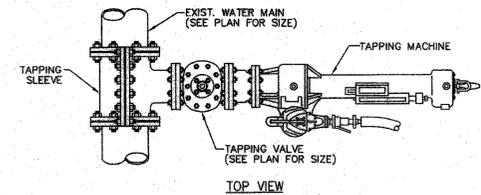


NOTE: 1. VALVE BOX SHOULD HAVE EXTENSION IF WATER MAIN OR SERVICE IS PLACED DEEPER THAN 5 FEET.

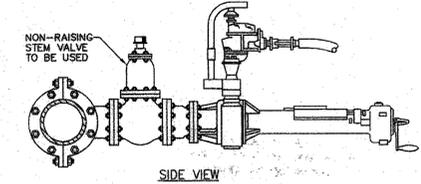
VALVE BOX DETAIL
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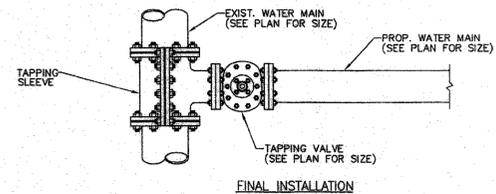
ROOF LEADER DETAIL
N.T.S.



TOP VIEW



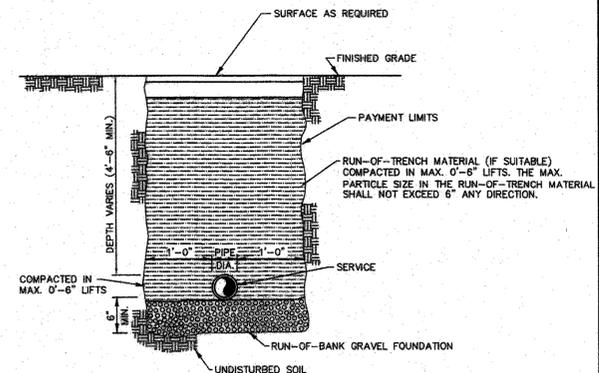
SIDE VIEW



FINAL INSTALLATION

- NOTES:
- WET TAP VALVE CAN BE INSTALLED IN EITHER VERTICAL OR HORIZONTAL POSITION.
 - CONTRACTOR SHALL VERIFY DEPTH OF BURY, MATERIAL DIAMETER (O.D.) AND OPERATING PRESSURE OF EXISTING WATER MAIN PRIOR TO ORDERING OF WET TAP UNIT.

WET TAP DETAIL
N.T.S.



WATER MAIN TRENCH DETAIL
N.T.S.

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REV	DATE	DRAWN BY	DESCRIPTION
1	03/19/19	CM	REVISION: PRELIMINARY PLAN
2	05/09/19	SM	REVISION: SITE PLAN FOR PLANNING BOARD SUBMISSION

JUSTIN E. DATES
NEW YORK REGISTERED
LANDSCAPE ARCHITECT - LICENSE NUMBER: 001964

AMENDED SITE PLAN
FOR
FARRELL BUILDING COMPANY

SECTION 64
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LOT 8.21
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

NEW WINDSOR OFFICE
355 Hudson Valley Avenue
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SCALE	DATE	DRAWN BY	CHECKED BY
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PROJECT NUMBER: 060013298
DRAWING NAME: C-DTL5

